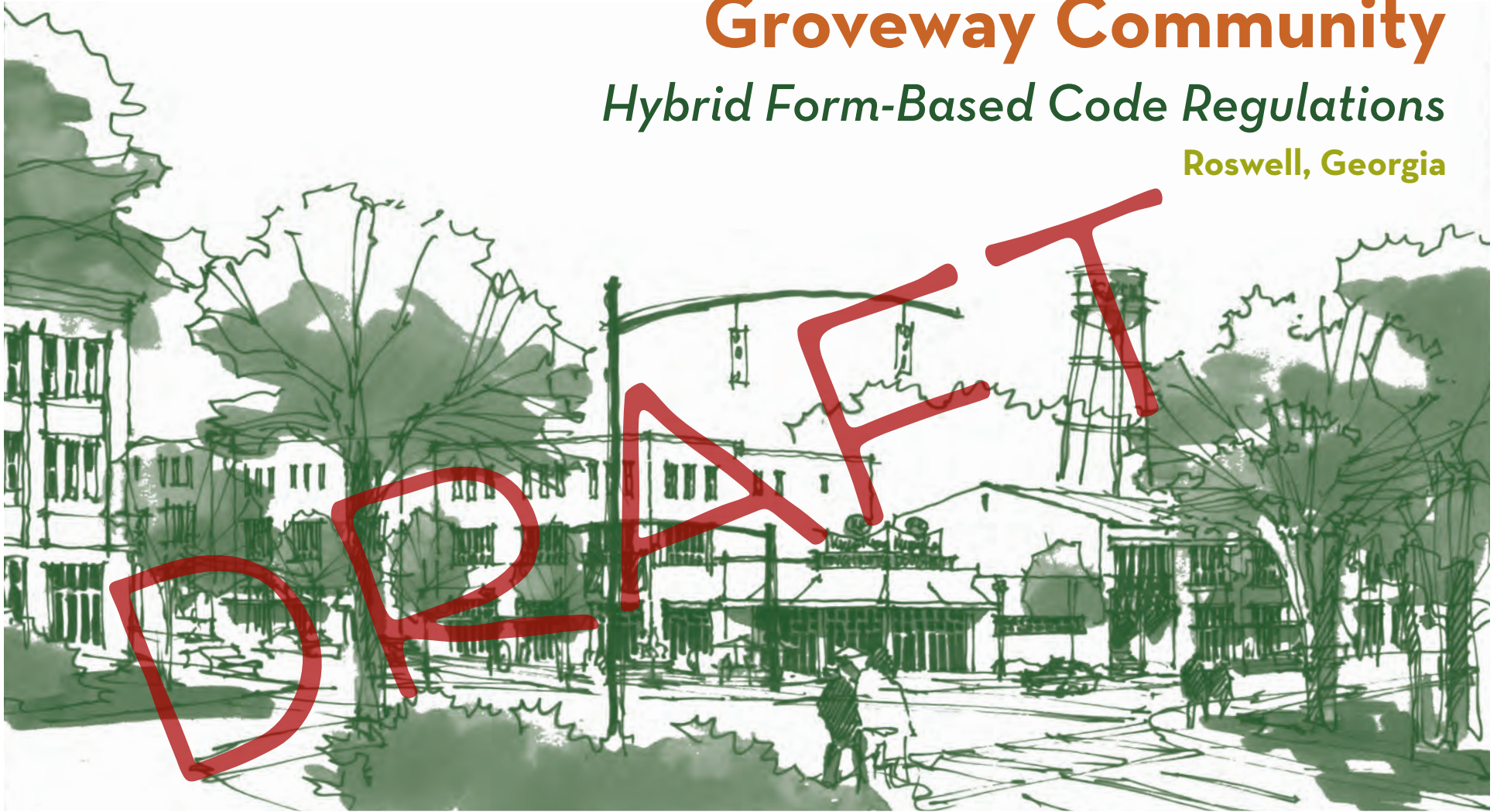


# Grovelay Community

## Hybrid Form-Based Code Regulations

Roswell, Georgia



December 2011







## 12.4.000 Background

The City of Roswell was awarded funding through the Atlanta Regional Commission's (ARC) Livable Centers Initiative (LCI) program in late 2007 to study an area along Atlanta Street (Highway 9) and the Roswell Town Center. The study included extensive public involvement and took a look at current conditions and made a series of short- and long-term recommendations related to land use, urban design and transportation. All of the recommendations were supported by a complete market study of the area performed by Robert Charles Lesser and Company.

In February 2009, the City of Roswell was awarded an ARC Community Choices grant to carry out a design charrette that would result in a more fine-grained vision for the LCI study area.

The Arts Village Concept Map, produced in the LCI study process, was the starting point for the charrette. This map is found on the following page, Fig. 12.4.000.

Existing planning activities considered in the charrette planning process included the Roswell Housing Authority's consideration of redevelopment opportunities, recent streetscape improvements along Oak Street and a desire to see the LCI study implemented in ways that brought new life to this historic community.

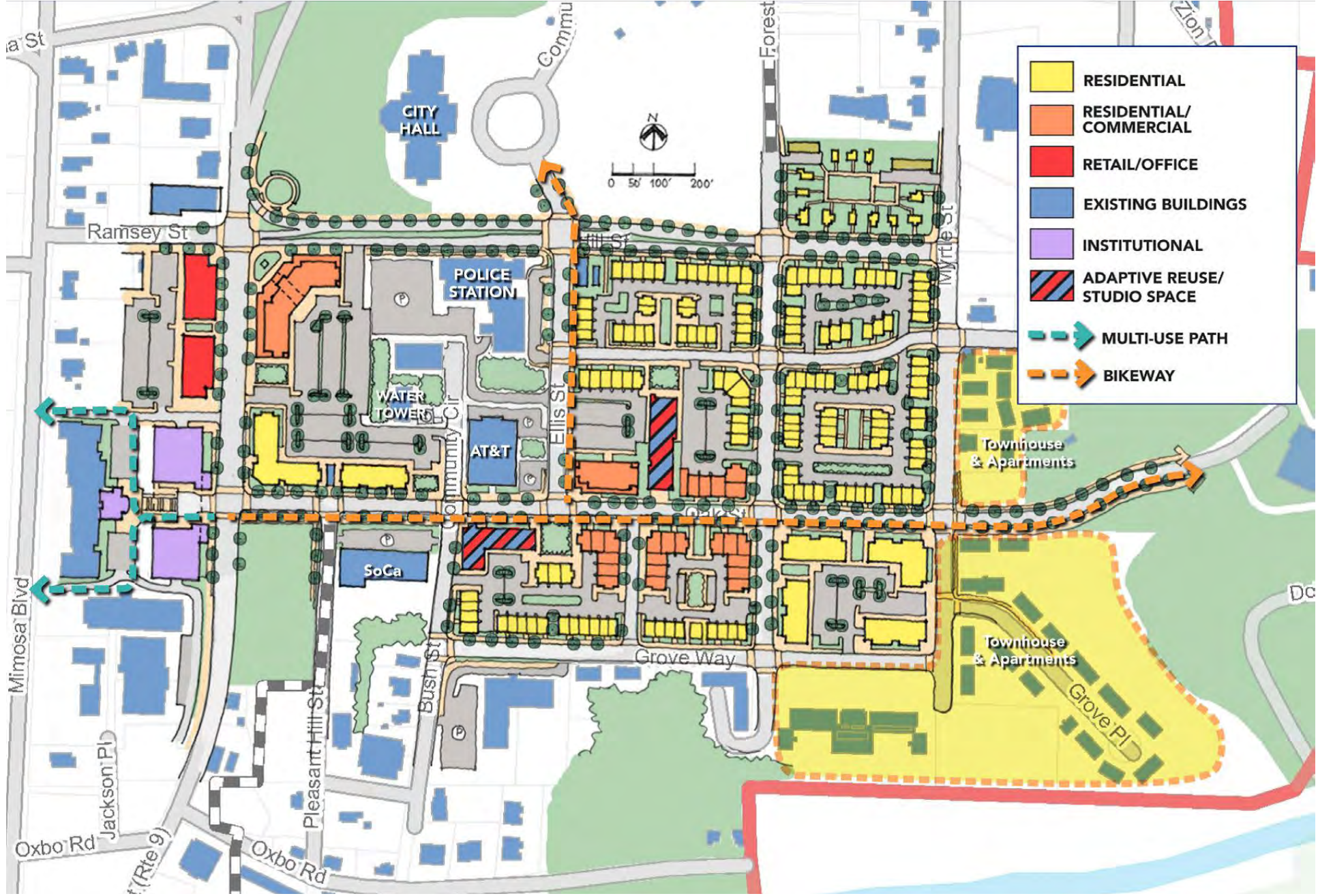
Stakeholders that were involved in the charrette planning process included:

- » Community members
- » Roswell Mayor and Council
- » Roswell Library
- » City of Roswell Planning & Community Development
- » City of Roswell Department of Transportation
- » Solheim Management
- » Roberts Commercial
- » YMCA
- » Whole Town Solutions
- » Zion Missionary Baptist Church
- » Pleasant Hill Missionary Baptist Church
- » Lauck Motors
- » GroveWay Community Group
- » SOCA Shops
- » Roswell Housing Authority
- » Roswell Police Department

Councilman Rich Dippolito served as the leader of the stakeholder committee and the project.



### Fig. 12.4.000 Arts Village Concept Map



## 12.4.001 Process

The Stakeholder committee spent more than two months discussing issues including challenges and opportunities for the area and strategies for meeting the needs of all current and future residents. The ARC Lifelong Communities program was introduced, along with principles that could be incorporated into the potential design of the GroveWay Community. The stakeholder team also participated in a comprehensive rolling tour of the GroveWay Community.

The charrette design and facilitation team for the charrette included architects, landscape architects, planners, transportation planning professionals, public works staff and others.



## 12.4.002 Planning

The charrette was held on Thursday, September 24 and Friday, September 25, 2009 at the Child Development Association located in the center of the GroveWay Community. Approximately eighty residents, elected officials, community representatives and other stakeholders attended. Designers, architects, landscape architects and planners from the Atlanta region and other areas of the Southeast participated and helped facilitate group discussion and recording of images and ideas.

The charrette area was divided into five groups:

- » Oak Street/Pleasant Hill
- » Oak Street mixed use
- » Myrtle Street south
- » Forest Street
- » Myrtle Street north

Each group was tasked with producing sketches for their respective areas, along with a text description of desired elements. These elements included transportation, land use, design, environmental and social components.



## 12.4.003 Implementation

The following regulations are intended implement the cumulative results of the Groeway charrette process. This is a precedent setting document in the Atlanta region in that it takes an innovative approach to community design in these ways:

- » Frontage types and building design are a primary focus, rather than the use within a structure;
- » Streetscape elements, landscaping and pedestrian areas are crucial building blocks of the community and serve as the foundation for future development; and
- » Regulations are presented by district - Neighborhood Mixed Use and Neighborhood Residential - while providing connections between the two to enhance mobility and create a cohesive design theme for the area.

## 12.4.004 Purpose and Intent

The purpose and intent of this code is as follows:

- 1) To implement the vision of the community, as expressed in the 2009 Groeway Community Charrette, with regard to future mixed use and residential development;
- 2) To encourage development and redevelopment of properties to support a mixed use center that will meet the needs of the surrounding community;
- 3) To put forth best practices in development to blend two districts within the community, to support one another;
- 4) To provide safe, pedestrian-oriented areas that allow for the free movement of individuals, whether walking, biking, riding transit or driving; and
- 5) To implement the goals of the 2008 Livable Centers Initiative (LCI) Study.



## 12.4.005 Orientation

These Development Regulations govern all future private development actions in the Groeway Community, forming Section 12.4 of the City of Roswell Zoning Ordinance.

These requirements and guidelines will be used to evaluate private development projects or improvement plans proposed for properties within the Community. This section explains how the development regulations are applied and used. The subsequent sections present the regulations themselves.

For the Neighborhood Mixed Use District, regulations follow as such:

- » Section 12.4.110 Site Development Regulations
- » Section 12.4.120 Open Space, Landscape and Streetscape Regulations
- » Section 12.4.130 Parking Regulations
- » Section 12.4.140 Lighting, Signage and Public Art Regulations

For the Neighborhood Residential District, regulations follow as such:

- » Section 12.4.210 Site Development Regulations
- » Section 12.4.220 Open Space, Landscape and Streetscape Regulations
- » Section 12.4.230 Parking Regulations
- » Section 12.4.240 Lighting, Signage and Public Art Regulations

## 12.4.006 Applicability

The policies contained within this chapter shall apply as follows:

### 1) New Construction

All regulations in the chapter shall apply.

### 2) Additions and Improvements

- a. These Regulations shall apply to significant additions constituting greater than 50 percent of a building's floor area OR exterior improvements costing more than 50 percent of a property's assessed value.
- b. Improvements and additions to existing buildings that increase nonconformities are not permitted.
- c. If regulations to be applied to net new floor area are not specified in this chapter, then citywide regulations shall apply.

### 3) Use Changes

- a. Any use change to a non-conforming use is not permitted.
- b. Regulations that apply to use changes shall be determined by the Community Development Director/Designee.

### 4) New Signs

- a. The regulations contained in Sections 12.4.142 (Neighborhood Mixed Use) or 12.4.242 (Neighborhood Residential) shall apply to all new signs, in addition to the regulations in Article 22 of the City of Roswell Zoning Ordinance.
- b. Any permanent signs made non-conforming as a result of the adoption of these regulations may be repaired, but not structurally altered or made more non-conforming in any way. See Article 22 of the City of Roswell Zoning Ordinance for additional detailed requirements.

### 5) Continued Use or Adaptive Reuse

- a. Nothing contained in this code shall require any change in any existing building or structure for which a building permit has been previously issued, or in any proposed building or structure for which a building permit application was deemed complete prior to the effective date of this ordinance. Changes in the property's ownership or tenants of existing uses shall require no change in any existing building or structure. See also Chapter 14.3 of the City of Roswell Zoning Ordinance for more detailed regulations regarding non-conforming uses, structures and other improvements.

## 12.4.007 How to Obtain Project Approval

Article 31, Amendments, Zoning Procedures and Permits, City of Roswell Zoning Ordinance, establishes procedures for processing development permit applications. Article 31 provides all the necessary information regarding plan submittal, review and approval.

## 12.4.008 Development Regulation Terms

Development regulations established in this code are of three types: District Requirements, Regulatory Definitions, General Requirements, and Guidelines.

### 1) District Requirements

Development specifications such as permitted land uses, building height dimensions, and setback dimensions that are specific to each District. Conformance with District Requirements is mandatory. Such provisions are indicated by use of the words “shall,” “must,” or “is / is not permitted.”

### 2) Regulatory Definitions

The rules and performance measures that define Regulations and establish how District Requirements apply to properties. Regulatory Definitions are common for all properties in the Community. Conformance with Regulatory Definitions is mandatory. Such provisions are indicated by use of the words “shall,” “must,” or “is / is not permitted.”

### 3) Guidelines

Provide guidance for new development in terms of aesthetics and other considerations such as District character or design details. They are intended to direct building and site design in a way that results in the continuity of the valued character of the GroveWay Community. Whereas conformance with the Requirements is mandatory, conformance with the Guidelines is preferred and/or recommended. Provisions that fall into this category are indicated by the use of the words “should,” “may” or “are encouraged to.” In various cases, the Guidelines provide a choice of treatments that will achieve the desired effect. Although direct conformance with the Guidelines is strongly encouraged, developers are permitted to propose alternative design details if they

are able to show that such details implement the vision communicated in the 2008 LCI study and 2009 GroveWay Community Charrette.

## 12.4.009 How to Use the Development Regulations

The Regulations in this document are applied to those properties within the GroveWay Community as indicated on the GroveWay Community Map (see Fig. 12.4.100).

- 1) The Development Regulations are divided into six sections:

### District Requirements

#### 12.4.100

This section establishes two Districts as the basic organizing principle for all development regulations and sets forth those requirements that are specific to each District.

### Site Development and Architectural Regulations

#### 12.4.110 Neighborhood Mixed Use District

#### 12.4.210 Neighborhood Residential District

This section contains General Requirements, Regulatory Definitions and Guidelines of Site Development Regulations that govern building height and length, building orientation, and each development’s frontage conditions.

### Open Space, Landscape and Streetscape Regulations

#### 12.4.120 Neighborhood Mixed Use District

#### 12.4.220 Neighborhood Residential District

This section sets forth General Requirements, Regulatory Definitions, and Guidelines for the provision, design, and configuration of landscaped areas, streetscape components and publicly accessible spaces.

### Parking Regulations

#### 12.4.130 Neighborhood Mixed Use District

#### 12.4.230 Neighborhood Residential District

This section sets forth General Requirements, Regulatory Definitions, and Guidelines for parking calculations, surface parking lots, and



parking structure design to ensure that the parking provided for new development contributes to the character of each district.

### **Lighting, Signage and Public Art Regulations**

**12.4.140** Neighborhood Mixed Use District

**12.4.240** Neighborhood Residential District

This section contains General Requirements, Regulatory Definitions, and Guidelines for lighting, signage and public art.

#### 2) Determination of applicable regulations:

Following are instructions on how to locate and review the Development Regulations that apply to a specific property.

#### **a. Identify the property's District**

- i. Locate the property in question on the Groveway Community Map (Fig.12.4.100).
- ii. Note which District the property is in.

#### **b. Review District Requirements (specific to each District)**

- i. Turn to the section for the property's District (Sections 12.4.110 – 12.4.140 for Neighborhood Mixed Use; Sections 12.4.210 – 12.4.240 for Neighborhood Residential).
- ii. Review all District Requirements in the accompanying District Requirement Charts. The District Requirement Charts are intended as a summary and do not encompass all mandatory requirements presented throughout the Development Regulations.
- iii. Should conflicts arise between different regulations contained in the Chapter, the more specific regulations shall apply.

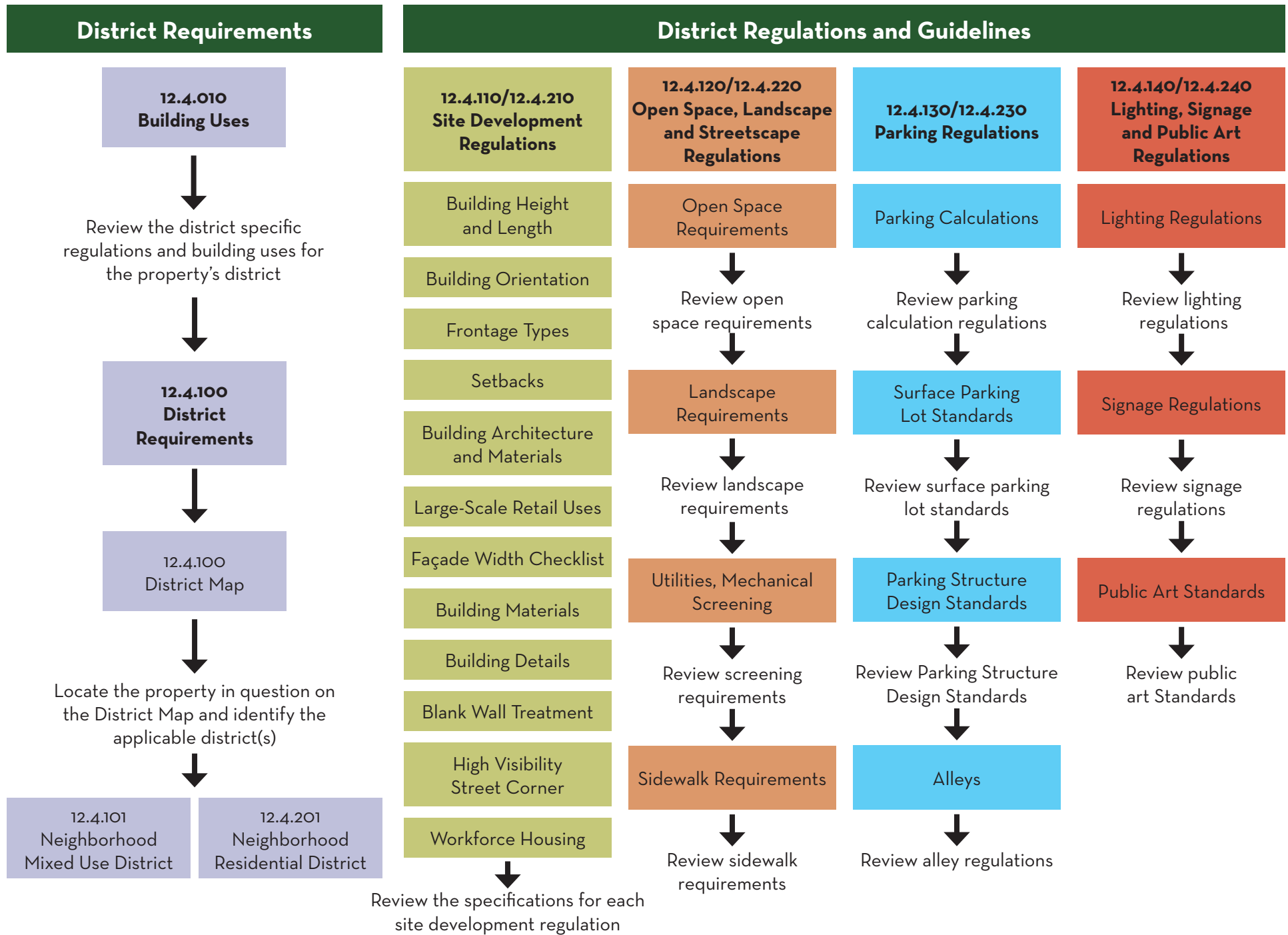
#### **c. Reference Regulatory Definitions if necessary**

- i. To understand the specific regulation corresponding to a District Requirement in the Charts, turn to the corresponding regulation number and name in the subsequent sections.

- ii. Review the Regulatory Definition.

#### **d. Regulation compliance**

- i. Projects must comply with all requirements in order to achieve approval in the developmental review process. Projects are encouraged to adhere to the recommendations presented as guidelines within each section, and projects that conform to those recommendations will facilitate the project review process.



## 12.4.010 Building Use

For the purposes of this code, all permitted and conditional uses have been designated below. Descriptions and special requirements for each use can be found in the City of Roswell Zoning Ordinance, Article 10.

The use chart includes permitted, conditional and prohibited uses for both districts in the community. Uses listed as permitted are defined as those uses permitted by right. Uses listed as conditional are defined as those uses which require special consideration and the granting of a conditional use permit. Uses listed as prohibited are not allowed in that specific district.

<b>Legend</b>
NMU = Neighborhood Mixed Use District
NR = Neighborhood Residential District
P = Permitted Use
C = Conditional Use
X = Prohibited Use

USE	NMU	NR
<b>Commercial</b>		
Animal hospitals and veterinary clinics	C	X
Automobile broker	P	X
Automobile sales establishments	C	X
Automobile service establishments	C	X
Bed and breakfast inns	P	X
Big box retail, new buildings	C	X
Business service establishments of more than 2,500 square feet of gross floor area	C	X
Business service establishments, not exceeding 2,500 square feet of gross floor area	P	X
Car washes	C	X
Clinics	P	X
Commercial recreation facility, indoor	P	X
Commercial recreation facility, outdoor	C	X

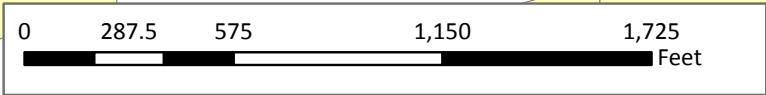
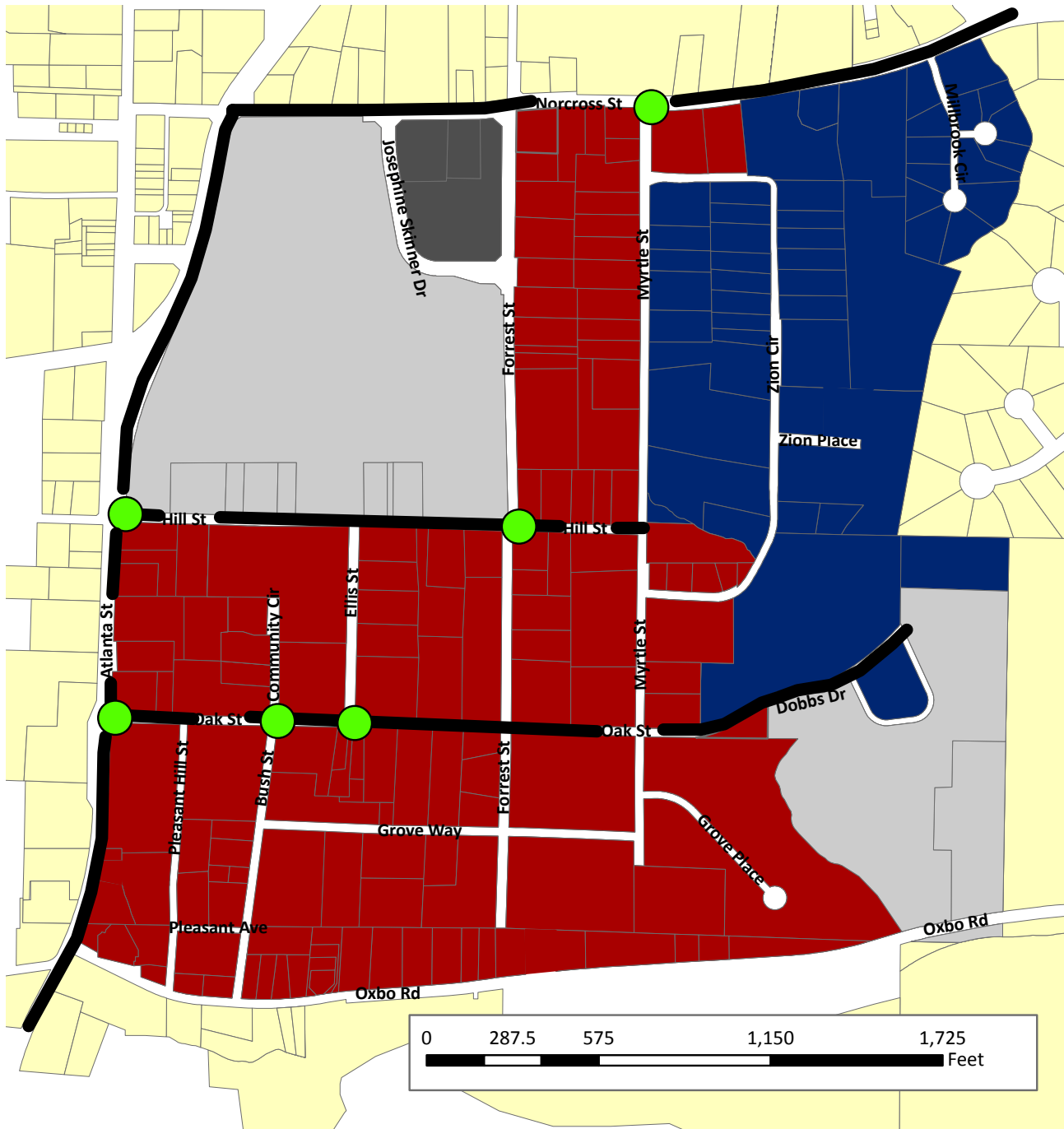
Contractor's establishments, including cabinet shops	C	X
Convenience stores, without fuel pumps	C	X
Cottage industries	C	X
Extermination and pest control businesses and disinfecting services, but not including the outside storage of vehicles	P	X
Extermination and pest control businesses and disinfecting services, including the outside storage of vehicles	C	X
Finance, insurance and real estate establishments	P	X
Funeral homes and mortuaries	C	X
Health spas	P	X
Home occupations, professional offices only	P	P
Inns	C	X
Lodging services, hotel	C	X
Mixed-use development	P	X
Personal service establishments	P	X
Restaurants, including outside seating areas but not including drive-ins or drive-through facilities	P	X
Retail trade establishment, enclosed, limited to 5,000 square feet of heated floor area and no more than 15 employees	P	X
Retail trade establishment, enclosed, of more than 5,000 square feet of heated floor area or more than 15 employees	C	X
Special event facilities	C	X
Taxi cab and limousine services	C	X
<b>Industrial</b>		
Distribution of products and merchandise	C	X
Printing, blueprinting, publishing, and book binding facilities	C	X
Recycling and recovery facilities	X	X
Research, scientific and testing laboratories	C	X
<b>Office/Institutional</b>		
Adult care center	P	C
Churches, temples, synagogues, and places of worship, including cemeteries as accessory uses	P	C



Club or lodge, nonprofit, sponsored by a civic or similar organization	P	C
Colleges and universities	C	C
Day care centers	C	C
Hospices	P	C
Hospitals	C	C
Institutional residential living and care facilities, serving 18 or more persons	C	C
Institutional residential living and care facilities, serving less than 18 persons	P	C
Museums	P	C
Non-profit service organization	C	C
Offices	P	X
Radio and television stations, studios, and offices, excluding transmission towers and dishes	P	C
School for the arts, more than 5,000 square feet in gross floor area	C	C
School for the arts, not exceeding 5,000 square feet in gross floor area	P	C
Schools, private elementary, middle and high	P	C
Schools, public elementary, middle and high	P	C
Schools, special	C	C
Schools, trade	C	C
<b>Residential</b>		
Dwelling, condominium, townhouses	P	P
Dwellings for caretaker or night watchman	C	X
Dwellings, multi-family	P	P
Dwellings, single-family attached	P	P
Dwellings, single-family detached, fee-simple	X	P
Mixed-use development	P	X

<b>Special Uses</b>		
Cemeteries	C	X
Communication towers and antennae pursuant to ordinance	C	X
Conservation areas	P	C
Green space or recreational space	P	P
Helicopter landing areas	C	X
Parking lots, decks, and structures, off-site or on-site, as principal or accessory uses	C	C
Public and semi-public uses	P	C
Temporary structures and uses approved by the zoning director	P	C
Retail trade establishment, enclosed, of more than 5,000 square feet of heated floor area or more than 15 employees	C	X
School for the arts, not exceeding 5,000 square feet in gross floor area	P	X
Schools, private elementary, middle and high	P	X
Schools, public elementary, middle and high	P	X
Schools, special	C	X
Schools, trade	C	X
Special event facilities	C	X
Taxi cab and limousine services	C	X
Temporary structures and uses approved by the zoning director	P	X

Note: All other uses not mentioned here shall be prohibited.



**Fig. 12.4.100**  
**Grovey Community Map**

*Legend*

- Neighborhood Mixed Use District
- Neighborhood Residential District
- Parcels owned by City of Roswell
- Parcels owned by Fulton County
- High Visibility Street Corners
- Primary Streets

**High Visibility Street Corners**

Buildings at intersections designated as High Visibility Street Corners are regulated under Sections 12.4.117/12.4.217 of this code. All properties at each corner of this intersection shall follow the regulations in this Section to orient buildings toward the intersection.

**Primary Streets**

Buildings located at the intersection of two streets (not High Visibility Street Corners) shall be oriented toward primary streets. Sections 12.4.110/12.4.210 provide regulations for these properties.



## 12.4.100 District Requirements

This section organizes all properties into two Districts and presents charts containing all District Requirements that apply to the properties in each District. The districts established are:

- » Neighborhood Mixed Use District
- » Neighborhood Residential District

### 1) Districts Established

To ensure that individual private actions are consistent with the intended patterns of development in the Community, two Districts are established as the basic organizing principle for the regulations contained in this chapter. The two Districts are established in the specific locations and with the specific names indicated in the Groeway Community Map, Fig. 12.4.100.

### 2) How To Review A District's Requirements

To review the descriptions and district requirements for each District, take the following steps:

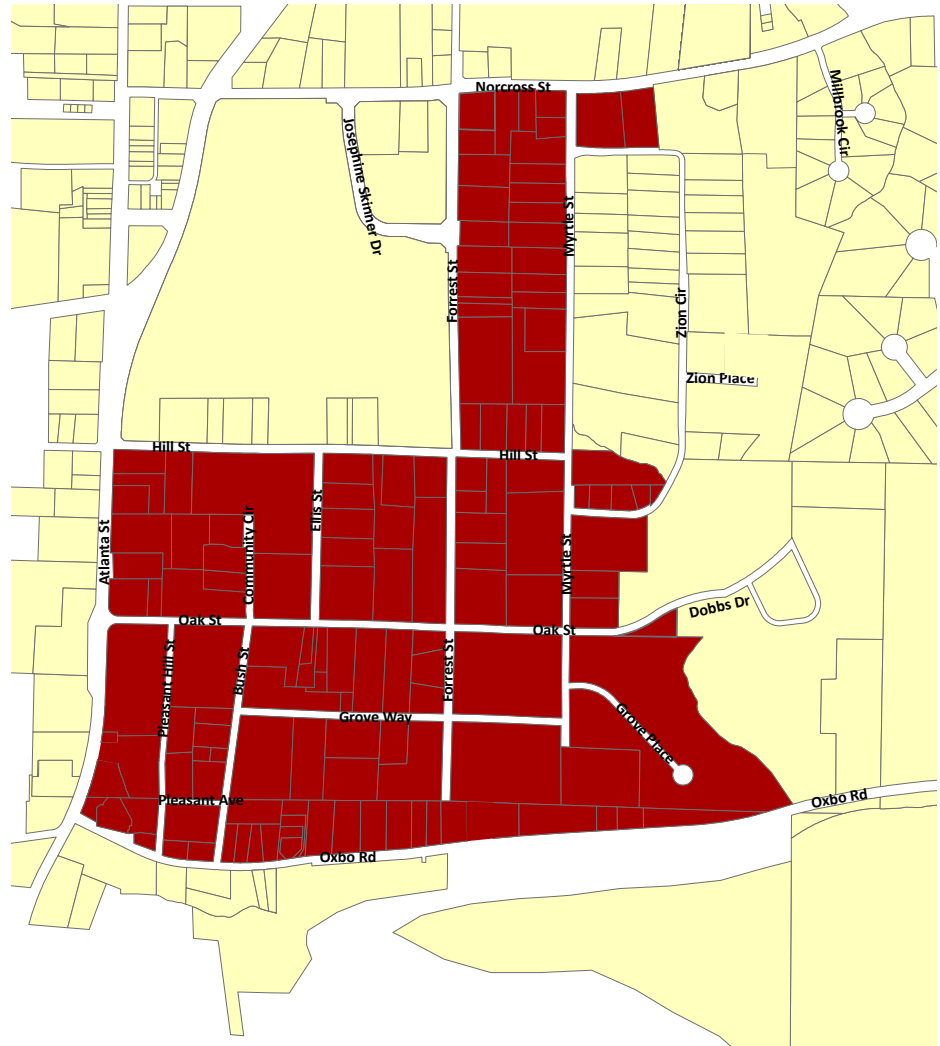
The District Requirements Charts contain all of the primary requirements that apply to development in the indicated District.

- i. Review all requirements in the Chart.
- ii. To understand the specific regulation corresponding to a particular requirement in the Charts, turn to the corresponding regulation number and name in the subsequent sections and review the regulatory definition.

### 3) How Districts Apply To Parcels

Every parcel in the Community shall be regulated by one District as shown in the Groeway Community Map, Fig. 12.4.100. Where further clarification is necessary, boundaries shall be determined by consulting with the Community Development Director/Designee.

## 12.4.101 Neighborhood Mixed Use District Requirements





## 12.4.101 Neighborhood Mixed Use District Requirements

12.4.110 Site Development Regulations	District Requirements
<b>Building Use</b>	
Commercial	see Section 12.4.010, Building Use
Office	
Residential	
<b>12.4.111 Building Height</b>	
Minimum height	1 stories or 18 feet
Maximum height	66 feet
<b>12.4.112 Maximum Building Length</b>	
Maximum	300'
* Buildings greater than 100' see Max. Façade Width Checklist	
<b>12.4.113 Building Orientation</b>	
Required or not required	required
<b>12.4.114 Frontage Types</b>	
Storefront	permitted, required along certain streets, see Community Map
Forecourt	permitted
Stoop	permitted
Terraced Yard	permitted
Common Yard	not permitted
<b>12.4.114 Transparency/Fenestration (Transparency zone: 30" to 8' above grade)</b>	
Storefront	60%
Forecourt	60%
Stoop	25% for non-res.; 15% for residential
Terraced Yard	10% single family; 15% multi-family
<b>12.4.114 Frontage Coverage</b>	
Minimum percent applicable	100%

12.4.110 Site Development Regulations	District Requirements
<b>12.4.115 Front Yard Setback (from back of sidewalk)</b>	
Storefront	Min 0'; Max 10'
Forecourt	Min 0'; Max 10'
Stoop	Min 0'; Max 10'
Terraced Yard	
Multi-family uses	Min 0'; Max 10'
<b>12.4.115 Side Yard Setback</b>	
Next to no other buildings	Min 10'
Adjacent to building with windows	Min 20'
New MU developments, < 3 stories	Min 10'
New MU developments, > 3 stories	Min 15'
<b>12.4.115 Rear Yard Setback</b>	
Minimum	10'
<b>12.4.116.1 Building Articulation Features</b>	
Storefront	Every 40'
Other non-residential buildings	Every 60'
Residential buildings, residential portions of mixed use buildings	Every 30'
<b>12.4.116.2 Large-scale Retail Use Standards</b>	
Minimum	Retail uses with minimum 30,000 s.f.
<b>12.4.116.4 Building Materials</b>	
Wood siding	permitted; above 2 ft above grade
Concrete siding	permitted; above 2 ft above grade
Stucco	permitted; above 2 ft above grade
Stone	permitted
Brick, precast concrete and timber frame	permitted

## 12.4.101 Neighborhood Mixed Use District Requirements

12.4.110 Site Development Regulations	District Requirements
<b>12.4.116.5 Building Details</b>	
Storefront	30' intervals
Forecourt	60' intervals
Stoop	60' intervals
Terraced Yard	60' intervals
<b>12.4.116.5 Multi-family Building Details</b>	
Required or not required	required
<b>12.4.116.6 Blank Wall Treatment</b>	
Required or not required	required
<b>12.4.117 High Visibility Street Corner Standards</b>	
Required or not required	required for buildings at designated sites, see Community Map
<b>12.4.120 Open Space Regulations</b>	
<b>12.4.121 Open Space Requirement (for parcels one acre and larger)</b>	
Minimum	10% of site acreage
<b>12.4.122 Landscaping Standards</b>	
Required or not required	required
<b>12.4.122 Parking Lot Landscape Standards</b>	
Required or not required	required
<b>12.4.123 Utilities Area Screening</b>	
Required or not required	required
<b>12.4.124 Sidewalk Standards</b>	
Minimum	Refer to Table 12.3.5 of the Roswell Zoning Ordinance
Outdoor dining	permitted, must maintain ADA clear zone
Curb cuts	Minimum distance between: 25'; no cuts within 100' of intersection

12.4.130 Parking Regulations	District Requirements
<b>12.4.131 Parking Standards</b>	
For parking standards, refer to Article 17 of the City of Roswell Code of Ordinances	
<b>12.4.132 Maximum Parking Lot Frontage</b>	
Maximum	50% of lot width
<b>12.4.133 Parking Structure Design Standards</b>	
Required or not required	required
<b>12.4.134 Alleys</b>	
Minimum width	20'
<b>12.4.140 Lighting and Signage Regulations</b>	
District Requirements	
<b>12.4.141 Lighting Standards</b>	
Required or not required	required
<b>12.4.142 Signage Standards</b>	
Required or not required	required

## 12.4.101 Neighborhood Mixed Use District Regulations

### 12.4.110 Site Development Regulations

### 12.4.111 Building Height and Density

Building height is defined as the vertical extent of a building. Height for buildings is regulated by both the number of floors permitted and by total feet permitted. New structures must meet the minimum and maximum for both floor and dimension requirements.

Buildings and structures in this district shall be at least one (1) story or eighteen (18) feet in height and not to exceed sixty-six (66) feet. Five story buildings shall be located along primary streets only.

The number of floors shall include all floors located above the finished grade. Portions of the building such as basements or podiums that are substantially or partly submerged shall not be counted as a floor as long as they do not extend more than five feet above grade. Floors that extend more than five feet above grade shall be counted as a floor.

Height shall be measured from finished grade along the base of the building to the top of cornice, parapet, or eave line of a peaked roof.

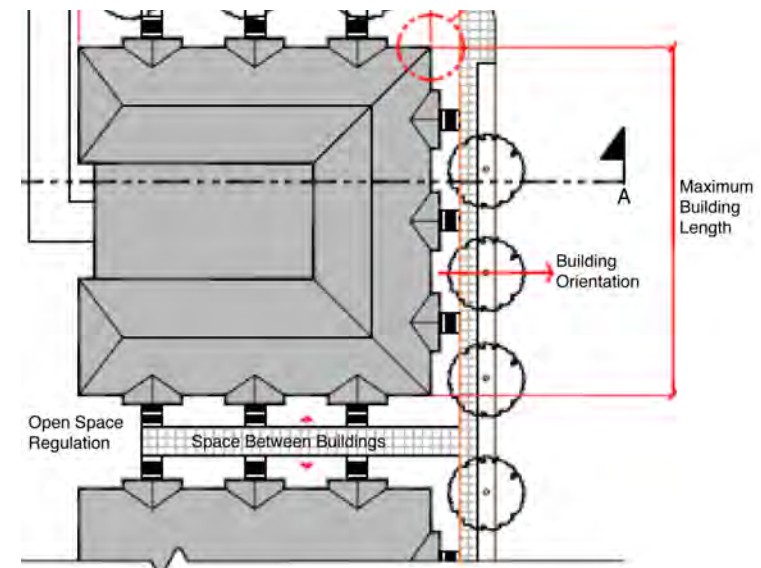
Portions of a building that are not part of the primary building mass, such as entrance porticos, bays and stoops, are not required to meet minimum height requirements. Portions of the building that extend above the primary building mass, such as dormers, roof-top cupolas, elevator and mechanical equipment enclosures, roof deck trellises, gazebos, and other special features, shall not exceed the maximum height requirement by more than 10 feet.

Accessory buildings, including non-dwelling units such as freestanding service structures and tool sheds, shall not exceed one and one-half stories or 14 feet.

### 12.4.112 Building Length and Separation

Maximum building length is three hundred (300) feet. Separation between buildings shall be no less than thirty (30) feet to provide access to the interior of the block, including any parking areas. Building separation area shall consist of a paved walkway through the depth of the parcel. This walkway shall coordinate with and connect to other walkways leading to the interior of the same block if parking is located there.

Buildings in excess of one hundred (100) feet in length shall conform to the regulations of the Maximum Façade Width Checklist, Section 12.4.116.3.





## 12.4.113 Building Orientation

All buildings in the community shall be located along and oriented toward new or existing street(s), excluding alleys and passages. A building is oriented towards a street if it has a building entrance that opens directly on to that street.

For lots along primary streets, designated as such in the Groeway Community Map, Fig. 12.4.100, buildings must be oriented toward that primary street.

Parking structures, garages, carriage houses and accessory buildings are permitted and encouraged to be located along alleys in lieu of streets or public open spaces.

Buildings on corner parcels shall have an entrance(s) oriented toward either the street of highest classification or toward the intersection if it is designated a High Visibility Street Corner.

## 12.4.114 Frontage Types

Frontage includes portions of all primary building façades up to the top of the first or second floor, including building entrances, located along and oriented toward streets.

A property's permitted Frontage Type shall be as specified within each District's regulations charts. All permitted frontage types for a single District are allowed either alone or in combination with any other permitted frontage type within a single building as specified by the District Regulations.

Frontage requirements regulate a building's primary entrance treatments, encroachments and property edges. Frontage regulations apply along the full length of the property frontage, even where there is no building façade.

## Storefront Standards

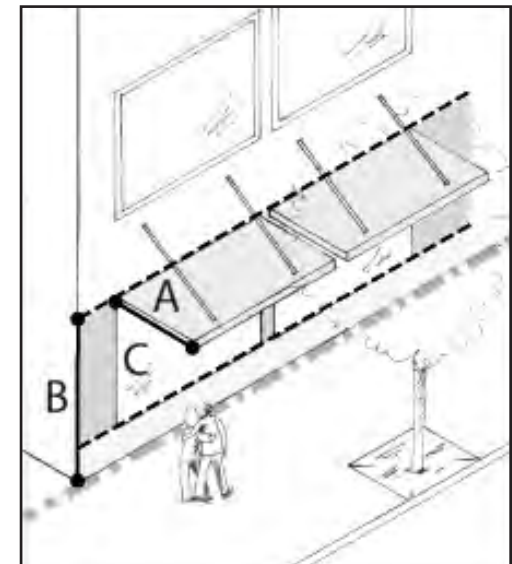
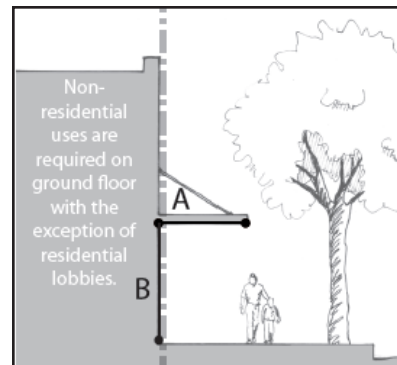
A storefront is a pedestrian-oriented façade with a non-residential use placed up to the edge of a sidewalk. Storefronts include substantial windows/transparency, weather protection features, and pedestrian entries on the applicable facade. This frontage type provides connections to sidewalks or internal private walkways and encourages pedestrian traffic.

Non-residential uses are required on the ground floor of buildings, with the exception of residential lobbies if applicable.

Each building must have an entrance that faces the street; buildings on High Visibility Street Corners must face intersection diagonally (see Sec. 12.4.117). Weather protection (awning) is required along at least thirty (30) percent of the storefront, at least five (5) feet deep and placed at least eight (8) feet above the sidewalk. Transparency is required for at least sixty (60) percent of the storefront, between 30" and 8' above grade. Storefront length shall not exceed 100'.

**Storefront Regulations**

A	Min 5'
B	Min 8' above grade
C	Between 30" and 8' above grade



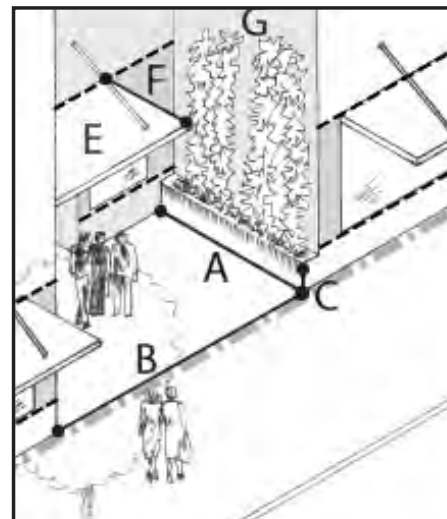
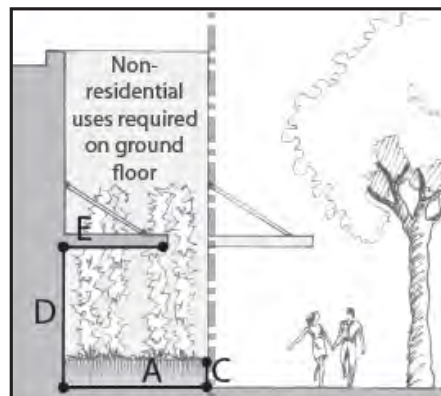
## Forecourt Standards

Forecourts are a frontage type featuring uncovered courtyards in a storefront setting. The court is suitable for outdoor dining, seating, and gardens.

Non-residential uses are required on the ground floor with the exception of residential lobbies.

At least one building entry must front onto court. Weather protection at least 5 feet deep is required over entire span of all entries and placed at least 8 vertical feet above grade. Design of the court must be ADA accessible. Transparency is required along at least 60% of the frontage, between 30" and 8' above grade.

Forecourt Regulations	
A	Min 0'; Max 20'
B	Min 10'; Max 50% of lot width
C	Max 42" tall
D	Min 8' above grade
E	Min 5'
F	Between 30" and 8' above grade
G	Transparency on sidewall encouraged but not required

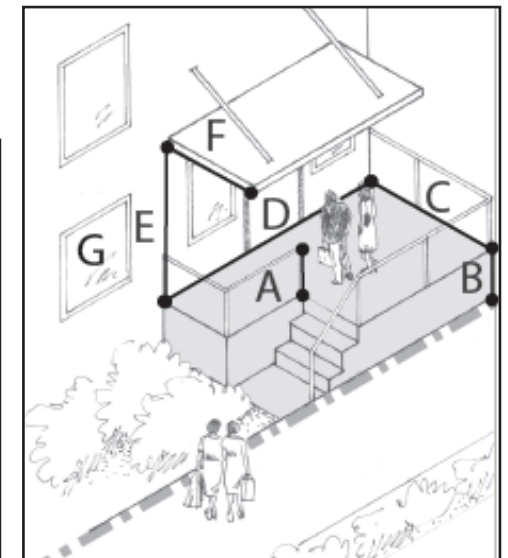
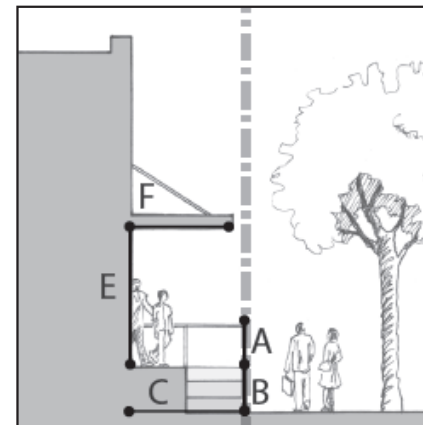


## Stoop Standards

Stoops are elevated platform entryways situated close to the sidewalk. The stoop improves privacy for residential uses and enhanced aesthetics for commercial uses.

Building entries shall be visible from the street. Weather protection at least 3 feet deep is required over the entire span of all entries and placed at least 8 vertical feet above the platform. Transparency requirements are as follows - for non-residential uses: along 25% of the transparency zone between 30" and 8' above grade; for residential uses: along 15% of the transparency zone. Stoops and walkways to commercial uses must be ADA compliant.

Stoop Regulations	
A	Min 42" tall and at least 50% transparent
B	Min 0'; Max 36"
C	Min 6' deep
D	Min 6' wide
E	Min 8' above platform
F	Min 3' and shall not project into the right of way
G	Between 30" and 8' above grade



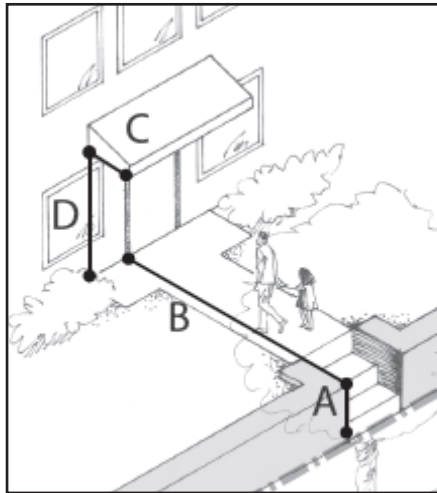
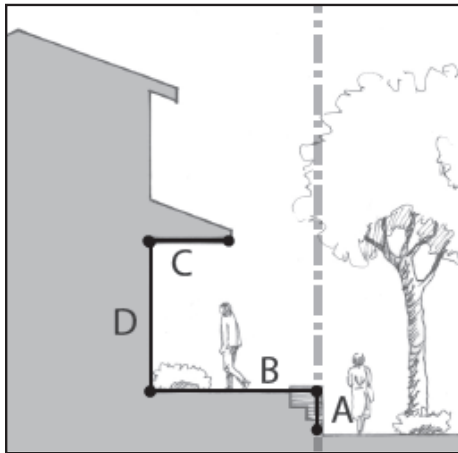
## Terraced Yard Standards

Terraced yards are raised lawns and/or gardens separated from the sidewalk by a retaining wall. The height difference provides enhanced privacy for residential uses.

Multi-family residential uses only: setback is 10' to 20'.

Building entries facing the street are required. For multi-family buildings, at least one building entry visible from the street is required. Transparency is required for at least 10% of the entire façade for single family uses; at least 15% of the façade for multi-family uses.

Terraced Yard Regulations	
A	Min 0'; Max 36"
B	Min 10' deep; multiple terraces may be used, provided each is separated by 2' planting bed
C	Min 3' deep over building entries
D	Min 8' above grade



## 12.4.115 Setbacks

### Front Yard Setback

Front yard setback is defined as the required distance from the back of sidewalk to the face of the building.

#### *Storefront, Forecourt, Stoop*

Buildings shall be located toward the front of each lot, at a minimum of 0' and a maximum of 10' from the back of the sidewalk.

#### *Terraced Yard*

Buildings shall be located at a minimum of 0' and a maximum of 10' from the back of the sidewalk.

If a lot is bound by more than one (1) public street, the front of the lot shall be considered the side adjacent to the street with the highest street classification. If the building is contained on a lot at a High Visibility Street Corner, the building shall be oriented diagonally toward the intersection (see Sec. 12.4.117).

The spaces between the back of sidewalk and the building face shall consist of only landscaping or pedestrian elements including courtyards, plazas or patios. No parking shall be located in this area.

Where non-residential uses are located on the ground floor, the primary ground floor entrance to buildings shall be clearly visible from the street, shall face the street, and shall be unlocked during operating business hours. If a building fronts more than one (1) public street, the primary entrance shall face the street with the highest street classification.

## Side Yard Setback

Minimum space between buildings shall be ten (10) feet, but if the property is adjacent to an existing building with windows facing the property line, the setback shall be twenty (20) feet from the face of the existing building. In new mixed-use developments there shall be a minimum of ten (10) feet between buildings and structures less than three (3) stories in height and a minimum of fifteen (15) feet between buildings and structures when one (1) of them is greater than three (3) stories in height. All side setbacks must be approved by city staff or a building official.

## Rear Yard Setback

Minimum rear yard setback is ten (10) feet.

## 12.4.116.1 Building Architecture and Materials

### Storefront Streets

Building façades on Storefront Streets shall include articulation features every 40 feet to create a pattern of small storefronts.

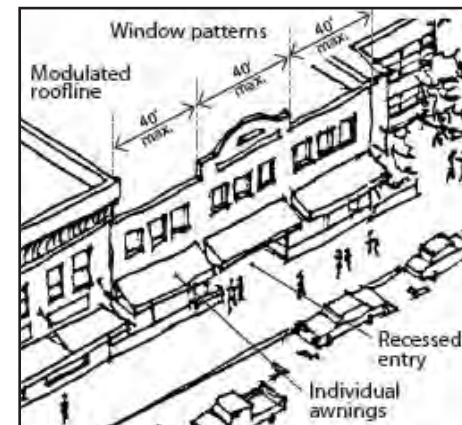
A Storefront Street is a street type designation emphasizing a “main street” type of setting with storefronts adjacent to the sidewalks. Oak Street, from the intersection of Atlanta Street to Forrest Street, is a Storefront Street.

Articulation is the giving of emphasis to architectural elements (like windows, balconies, entries, etc.) that create a complementary pattern or rhythm, dividing large buildings into smaller identifiable pieces.

At least two of the following articulation methods must be employed at intervals no greater than 40 feet:

- 1) Use of window and/or entries that reinforce the pattern of small storefront spaces.

- 2) Use of weather protection features that reinforce small storefronts. For example, for a business that occupies 120 feet of frontage, use three separate awnings to break down the scale of the storefronts.
- 3) Change in roofline.
- 4) Placement of building columns or vertical piers that reinforce a small storefront pattern.
- 5) Change in building material or siding style.
- 6) Other methods that meet the intent of the standards.





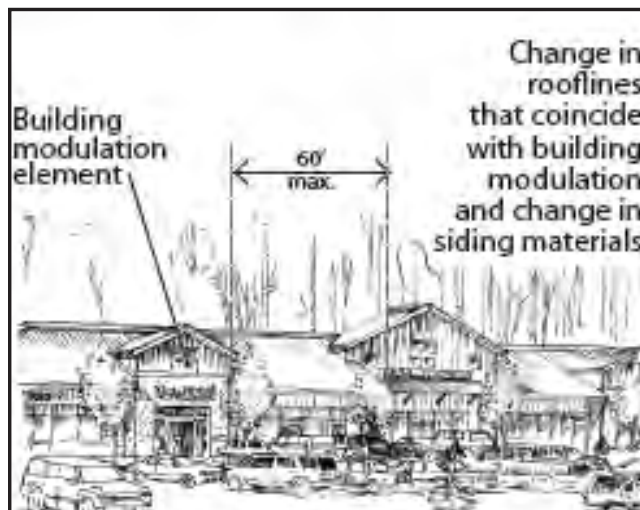
## Non-Residential Building Façades

Non-residential building façades containing a public entry and/or facing a street, park, or pedestrian-oriented space must include articulation features every 60 feet to provide visual interest and reduce the perceived scale of large buildings.

At least three of the following articulation methods must be employed at intervals no greater than 60 feet:

- 1) Window patterns and/or entries that reinforce the pattern of storefront spaces; e.g., groups of windows that repeat no more than every 60 feet as opposed to a uniform row, or “ribbon,” of windows.
- 2) Weather protection features that reinforce storefronts. For example, for a building façade that is 180 feet wide, use three separate awnings to articulate the façade.
- 3) Change of roofline.
- 4) Providing vertical building modulation of at least two feet in depth and four feet in width if tied with a change in roofline or change in building materials or siding style. Vertical building modulation is a stepping back or projecting forward vertical walls of a building face, within specified intervals of building width and depth, as a means of breaking up the apparent bulk of a structure’s continuous exterior walls.
- 5) Placement of building columns or vertical piers that reinforce a storefront pattern.
- 6) Change in building material or siding style.
- 7) Vertical elements such as planters, art pieces, or other features that repeat at intervals of 60 feet or less.

- 8) Design that features a top, middle, and bottom. This typically includes a distinctive ground floor or lower floor design, consistent articulation of middle floors, and a distinctive roofline. The articulation interval does not apply to this option.
- 9) Other methods that meet the intent of the standards.



## Residential Buildings and Residential Portions of Mixed-Use Buildings

Residential buildings and residential portions of mixed-use buildings shall include at least three of the following modulation and/or articulation features at intervals of no more than 30 feet along all façades facing a street, park, common open space, and common parking areas:

- 1) Repeating distinctive window patterns at intervals of 30 feet or less
- 2) Vertical building modulation. Minimum depth and width of modulation is 18 inches and four feet, respectively, if tied to a change in color or building material and/or roofline modulation. Balconies may be used to meet the modulation if they are recessed or projected from the façade by at least 18 inches.
- 3) Change of roofline.
- 4) Horizontal modulation (upper level step-backs).
- 5) Articulation of the building's top, middle, and bottom. This typically includes a distinctive ground floor or lower floor design, consistent articulation of middle floors, and a distinctive roofline. The articulation interval does not apply to this option.
- 6) Building elements such as bay windows, porches, canopies, chimneys, or other repetitive feature that effectively articulates the façade.
- 7) Other methods that effectively reduce the perceived scale of the building and add visual interest.



These buildings feature prominent entryways and incorporate various design features to break up the façade and make the entry area more pedestrian-scaled.





These buildings feature prominent entryways and incorporate various design features to break up the façade and make the entry area more pedestrian-scaled.



## 12.4.116.2 Massing of Large-Scale Retail Uses

These standards apply to individual retail uses with at least 30,000 square feet of floor area and facades greater than 100 feet in length.

### Prominent entry

The storefront shall integrate a prominent entry feature combining substantial roofline modulation with vertical building modulation and a distinctive change in materials and/or colors.

### For wider facades

Façades wider than 300 feet shall incorporate at least two entry/articulation features (if there is only one entry, the second feature may be less prominent).

## 12.4.116.3 Maximum Façade Width Checklist

For most buildings, small-scale façade articulation features are sufficient to contribute to the pedestrian-oriented environment add visual interest. Larger buildings need more substantial modulation features to break up the massing and add visual interest.

Façades wider than 100 feet shall include at least one of the following features to break up the massing of the building:

- 1) Provide vertical building modulation at least 20 feet deep and 30 feet wide. For two-story buildings with storefront frontage, the modulation must extend through the upper floor of the building. For multi-story buildings with any frontage, the modulation must extend through more than one-half of the building floors.



- 2) Use of a contrasting vertical modulated design component featuring all of the following:
  - a) Component extends through all floors above the first floor fronting on the street. Upper floors that are stepped back more than 10 feet from the façade are exempt.
  - b) Utilizes a change in building materials that effectively contrasts from the rest of the façade.
  - c) Component is modulated vertically from the rest of the façade by an average of 6 inches.
  
- 3) Façade employs building walls with contrasting articulation that make it appear like two distinct buildings. To qualify for this option, these contrasting façades must employ all of the following:
  - a) Different building materials and/or configuration of building materials.
  - b) Contrasting window design (sizes or configurations).



## 12.4.116.4 Building Materials

The following standards exist to encourage high-quality development and the use of building materials that will be consistent with and add to the character of the area.

### Wood, brick and concrete siding standards

Masonry, concrete, brick or other durable material must be incorporated between wood or metal siding and the ground plane (at least 2 feet above grade). Brick may also be used as a primary façade material.



Contrasting articulation makes this building look like three different buildings



### Stucco standards

Proper trimming. Stucco and similar troweled finishes (excluding Exterior Insulation and Finish System or “EIFS”) must be sheltered from extreme weather and are limited to no more than 50 percent of façades containing a customer or resident entry.

Treatment near ground level. Stucco and similar surfaces should not extend below 2 feet above the ground plane. Concrete, masonry, brick or other durable material must be used below this line.

### Stone and timber standards

When used for the primary façade (containing the primary pedestrian entrance), buildings are encouraged to incorporate a combination of textures and/or colors. For example, stone, masonry, brick or timber applied as columns or piers combined with wood siding, concrete siding or stucco may be appropriate.

### Prohibited materials

The following materials are prohibited: mirrored glass, chain-link fencing, back-lit vinyl awnings.



## 12.4.116.5 Building Details

### Details for Non-residential and mixed-use facades

The façades of non-residential and mixed-use buildings shall employ at least one detail element from each of the four categories below for each façade facing a public street or private internal access road and containing a public entry.

Detail elements shall be featured at 30-foot intervals along designated Storefront Streets and 60-foot intervals for all other applicable façades. For example, a large building with multiple storefronts will likely need more than one decorative sign, one transom window, and one decorative kick-plate to meet the standards.

## Window and/or entry treatment

- 1) Display windows divided into a grid of multiple panes.
- 2) Transom windows.
- 3) Roll-up windows or doors (see graphic below)
- 4) Other distinctive window treatment that meets the intent of the standards.
- 5) Sliding doors

## Recessed entry

- 1) Decorative door.
- 2) Arcade.
- 3) Landscaped trellises or other decorative element that incorporates landscaping near the building entry.
- 4) Other decorative or specially designed entry treatment that meets the intent of the standards.



This façade uses a roll-up door, steel canopy and decorative lighting.

## Building elements and façade details:

- 1) Custom-designed weather protection element such as a steel or glass canopy, cloth awning, or retractable awning.
- 2) Decorative, custom hanging sign(s).
- 3) Decorative building-mounted light fixtures.
- 4) Bay windows, trellises, towers, and similar elements.
- 5) Other details or elements that meet the intent of these standards.

### Building materials and other façade elements:

- 1) Decorative building materials/use of building materials. Examples include decorative use of brick, tile, stonework, or pre-cast concrete
- 2) Artwork on building (such as a mural) or bas-relief sculpture
- 3) Decorative kick-plate, pier, beltcourse, or other similar feature. A belt course is a continuous row or layer of stones, tile, brick, shingles, etc. in a wall.
- 4) Hand-crafted material, such as special wrought iron or carved wood
- 5) Other details that meet the intent of the standards.



This building uses lighting, decorative materials, a canopy and windows.

### Details for Multi-family Buildings

All multi-family building façades containing the building or unit's primary pedestrian entrance shall be enhanced with appropriate details.

Multifamily building façades must include four of the following features in the design:

- 1) Decorative porch or entries with distinct design and use of materials.
- 2) Decorative molding/ framing details around all ground floor windows and doors, bay windows, decorative glazing, or door designs, and/or unique window designs.
- 3) Landscaped trellises or other decorative element that incorporates landscaping near the building entry or entries.
- 4) Decorative light fixtures with a diffuse light source for each building entry.
- 5) Brick or stonework covering more than 10 percent of the façade.
- 6) Decorative building materials employing one of the following:
  - a) Decorative moldings, brackets, wave trim or lattice work.
  - b) Decorative brick or stonework.
  - c) Other materials with decorative or textural qualities as approved by the Planning Director.
- 7) Decorative roofline design, including multiple gables and/or dormers or other design that adds visual interest.
- 8) Decorative railings, grill work, or terraced landscape beds integrated along the façade of the building.





These townhomes use brick, decorative windows and a decorative entry design.

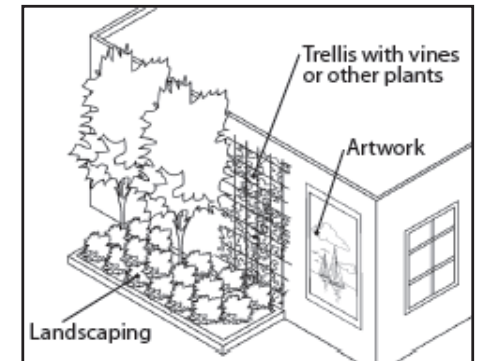
## 12.4.116.6 Blank Wall Treatment

A wall (including building façades and retaining walls) is considered a blank wall if a ground floor wall or portion of a ground floor wall over 6 feet in height has a horizontal length greater than 15 feet and does not include a transparent window or door with glazing; or any portion of a ground floor wall having a surface area of 400 square feet or greater does not include a transparent window or door with glazing.

### Standards

- 1) Untreated blank walls visible from a street, customer parking lot, park, common open space, or pedestrian pathway are prohibited.

- 2) Methods to treat blank walls can include:
  - a) Display windows at least 18 inches deep and integrated into the façade (tack on display cases don't qualify).
  - b) Landscape planting bed at least 5 feet wide or a raised planter bed at least 16 inches high and 3 feet wide in front of the wall with planting materials that are sufficient to obscure or screen at least 75 percent of the wall's surface within three years. The landscaping must be combined with other features such as sculpture or other permanent art installation.
  - c) A vertical trellis in front of the wall with climbing vines or plant materials.
  - d) Public art.
- 3) Firewalls along property lines are exempt from the above standards, but where they are visible to the public, they shall include horizontal and/or vertical banding or other design treatments.



Elevated planter and trellis add interest to an otherwise blank wall.



## 12.4.117 High Visibility Street Corner

### Street Corner Site Design Options

All development proposals located at designated High Visibility Street Corner sites shall include at least one of the design treatments described below. All buildings located on street corners must be oriented diagonally, facing the intersection.

High Visibility Street Corners are designated on the Groeway Community Map, Fig. 12.4.100.

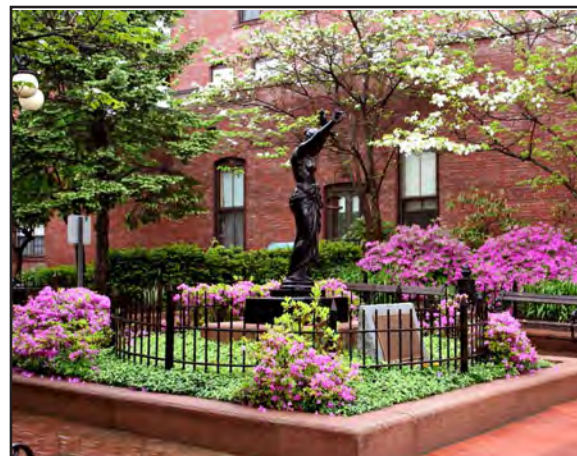
- 1) Locate a building within 15 feet of the street corner, with building diagonally oriented toward intersection.
- 2) Install substantial landscaping adjacent to the street corner. The subject area must be four hundred (400) square feet of ground surface area with hardscape elements making up at most 25% of the space. Planted areas should contain a combination of trees, shrubs, perennials, and ground cover that provides four-season interest.

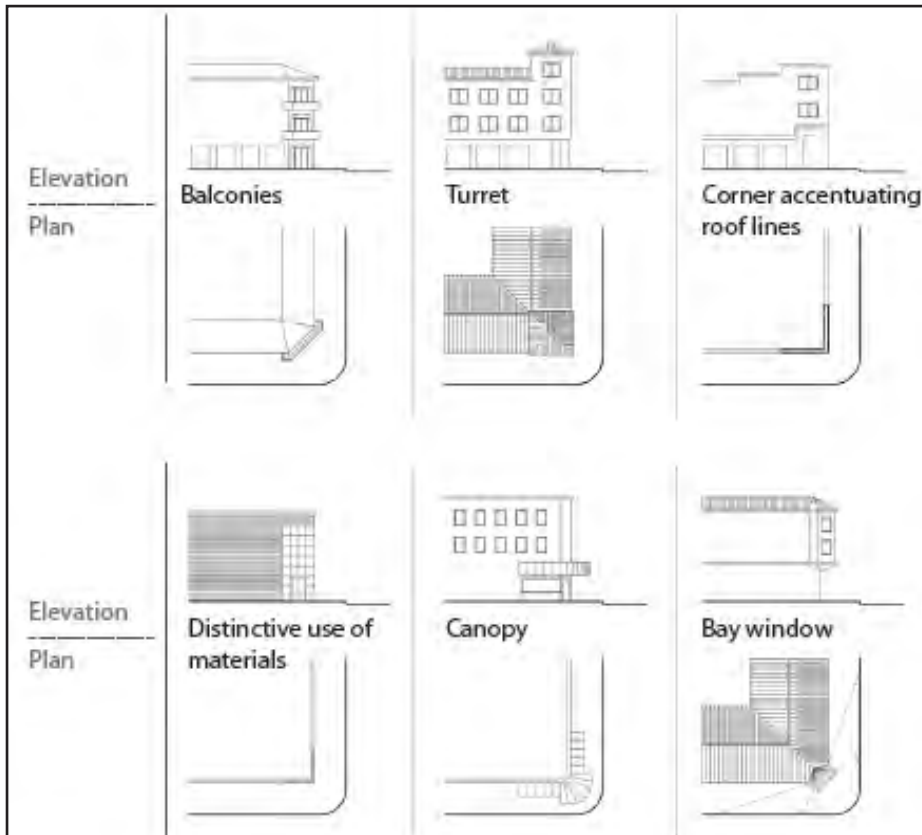
### Street Corner Building Design Standards

Buildings located within 30 feet of the street corner shall provide one or more of the elements listed below on the building corner:

- 1) A cropped or curved building corner with pedestrian entry.
- 2) A bay window or turret.
- 3) A clock or bell tower.
- 4) Balconies above the ground floor.
- 5) Sculpture or artwork element.
- 6) Distinctive use of façade materials.
- 7) Other special or unique corner building treatment, other than the use

of fabric or vinyl awnings, for pedestrian weather protection at the corner of the building.





Acceptable corner treatments in both elevation and plan views.

Maximum rents means, in the case of low-income rental housing units, that the pro-forma rental rate is equal to or less than 60 percent times fair market rent, and in the case of moderate-income rental housing units, that the pro-forma rental rate is greater than 60 percent times fair market rent but does not exceed 80 percent times fair market rent.

Workforce housing may take the form of condominiums or apartments within a mixed use or residential building, townhomes alongside buildings with residential or non-residential uses, or single family detached homes within a residential area. Outside appearance and design features of workforce units should not differ substantially from those of units not designated as “workforce”.

Incentives for developers to include workforce units within developments shall be determined by the elected body and the Community Development Department of the City of Roswell. For housing units to be deemed “workforce”, the Community Development Department must certify them as such.



Workforce housing may take the form of single family detached or attached homes or units within mixed use or residential buildings.

### 12.4.118 Workforce Housing

One goal for the future development of the Groeway Community is the inclusion of workforce housing units. Workforce housing is defined as for sale housing or rental housing units that do not exceed the maximum prices and/or maximum rents.

Maximum price means, in the case of low-income sales housing units, that the pro-forma sales price is equal to or less than one and one-half times median family income, and in the case of moderate-income housing units, that the pro-forma sales price is greater than one and one-half times median family income but does not exceed two and one-half times median family income.

## 12.4.120 Open Space, Landscape and Streetscape

### 12.4.121 Open Space Requirement

- 1) For parcels or developments on land one acre or larger, a minimum of ten (10) percent of the acreage of each new development shall be set aside for open space.
- 2) Open space that is incorporated into a new development shall provide connectivity to any existing nearby public amenity, including but not limited to trail networks, greenspace or park facilities.
- 3) Open spaces may include any combination of the following: planted areas, fountains, parks, plazas, trails and paths, hardscape elements related to sidewalks and plazas, landscaped parking lot islands and similar features which are located on private property and accessible to the general public.
- 4) On-street parking and sidewalks shall be permitted to satisfy at most fifty (50) percent of the required open space area.
- 5) Private courtyards and other private outdoor amenities may be located at the interior of the block, behind buildings or on rooftops. Private courtyards and private outdoor amenities shall not be counted toward the open space requirement.
- 6) Open spaces shall be accessible, and surrounded by a mix of uses directly accessible from a public sidewalk and building entrances.
- 7) All open space including setbacks, sidewalk clear zones, sidewalk zones and open spaces shall be fully implemented prior to issuance of a certificate of occupancy for the primary development.



Open space areas may consist of patios, courtyards or small parks surrounded by a mix of uses.

- 8) Each applicant shall present as a part of the application for a building permit a legal mechanism under which all land to be used for open space purposes shall be maintained and protected. Such legal mechanism may include deed restrictions, property owner associations, common areas held in common ownership or control, maintenance easements, or other legal mechanisms.

### 12.4.122 Landscape Requirement

#### Along Streets

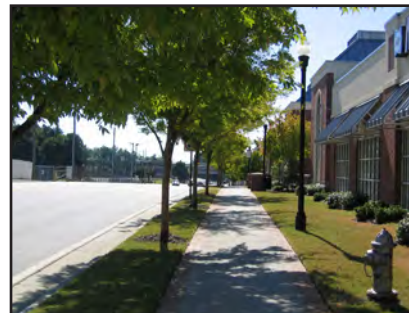
- 1) All streets shall be edged with a landscape strip of no less than six (6) feet in width. This area shall be planted with a row of street trees at least three and one-half (3.5) inches in caliper at thirty (30) foot intervals. Street tree installations shall be coordinated with all planned or potential streetscape improvements. Landscape strips shall also be planted with small shrubs, seasonal flowers, ground cover or turf grass. For additional standards, refer to section 16.5.2 of the City of Roswell Code of Ordinances.



- 2) Ground cover within the landscape strip shall consist of annual or perennial flowers, ornamental grasses or similar plantings, surrounded by mulch. Ground cover must be maintained at a height no greater than 36”.

### Parking Lots

- 1) All parking lots shall be surrounded with a landscape strip of no less than six (6) feet in width. Street trees every thirty (30) linear feet and small shrubs and other plantings shall be planted in these areas.
- 2) Parking lots shall include landscaped islands that account for no less than ten (10) percent of the total square footage of the lot. These islands shall also be planted with shade trees (at a rate of one tree per twelve parking spaces) and small shrubs. Porous pavers or materials should be used whenever possible.
- 3) Shade trees shall be planted at a minimum of three (3) feet from any curb, so as to prevent injury to trees by vehicle bumpers.
- 4) There shall be a minimum curb radius of three (3) feet required on all the corners of all landscape islands and medians to allow for free movement of motor vehicles around plant materials.



Landscaping along streets and in parking lots helps break up spaces and provides shade and protection for pedestrians.

## 12.4.123 Utilities, Mechanical Units Service Areas and Fences

- 1) All service areas (loading docks, dumpsters, delivery areas, waste oil containers, mechanical units, utilities) shall be screened from view from the public right of way with buildings, landscaping, or decorative fencing.
- 2) Decorative fencing in front or side yards shall only be made of brick, stone, wrought iron, composite materials or wood. Fences shall be a maximum height of four (4) feet in the front yard and shall be set back at least two (2) feet from the back of the sidewalk.
- 3) No barbed wire, razor wire, chain-link fence or similar elements shall be visible from any public plaza, ground level or sidewalk level outdoor dining area or public right-of-way.
- 4) Gates and security arms shall be prohibited from crossing any public street or sidewalk.



Landscaping or high-quality materials should be used to screen utilities and mechanical equipment.





### 12.4.124 Sidewalk Requirements

- 1) Public sidewalks shall be constructed along both sides of all streets.
- 2) Sidewalks shall be located between the building or private yard and the landscape strip adjacent to the street. Sidewalks shall conform to Table 12.3.5 of the Roswell Zoning Ordinance.
- 3) Sidewalks must at all times allow a minimum five (5) foot wide uninhibited passageway per the requirements of the Americans with Disabilities Act of 1990.
- 4) There shall be a minimum distance of twenty-five (25) feet between curb cuts. Curb cuts shall not be permitted within one hundred (100) feet of the intersection of any two (2) public streets and shall not be more than twenty-four (24) feet wide.

### 12.4.130 Parking Standards

### 12.4.131 Parking Calculations

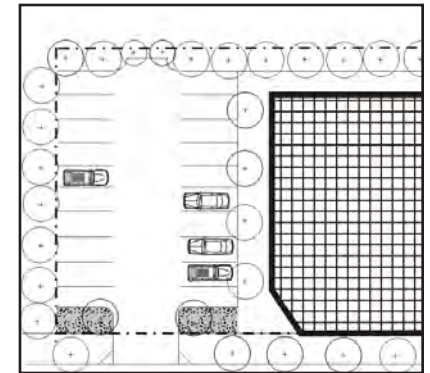
Refer to parking standards as outlined in Article 17 of the City of Roswell Code of Ordinances.

### 12.4.132 Surface Parking Lot Standards

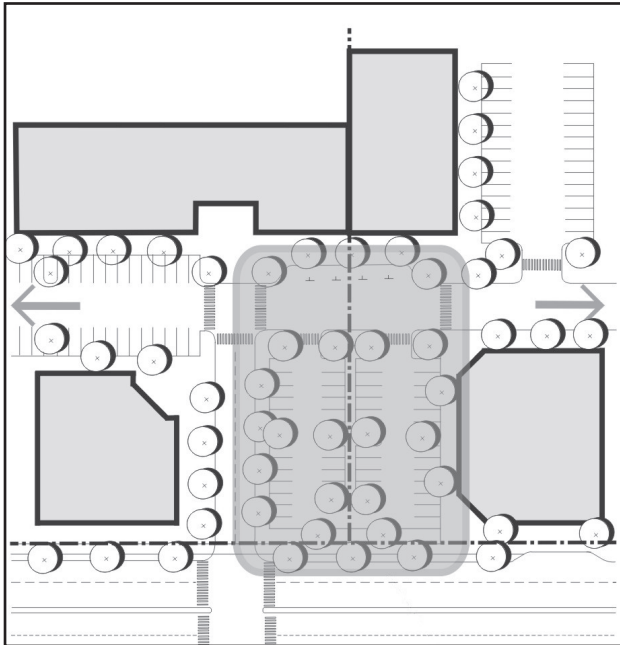
Parking lots in this district shall not be located between the building and the street. Lots shall be located either to the side or the rear of the building.

The maximum frontage for a parking lot along the street is fifty (50) percent of the width of the lot. Maximum frontage refers to the maximum percentage of the total site frontage that parking and vehicular access areas may occupy. Areas that qualify as parking and vehicular access areas include any paved areas between the street and a building that accommodate vehicular access (including drive-through lanes) or storage of vehicles.

Parking lots with more than 50 feet of frontage on a street shall include an architectural feature (in addition to the required landscaping). Examples could include a landscaped trellis, decorative low wall (perhaps doubling as a sitting ledge), weather protection element, or architectural columns.



A decorative low wall and landscaping conceal parking from the street.



Shared parking among uses (shown here in the interior of a block) still provides quick access to businesses, but hides parking.



## 12.4.133 Parking Structure Design Standards

Parking structures, if located along the street, shall provide space (at least 18 feet in width) for ground floor commercial uses for a minimum of 75 percent of the parking structure frontage width.

Parking structures shall be set back at least 10 feet from the sidewalk and feature landscaping between the sidewalk and the structure.

Parking garages visible from a street shall be designed to be complementary with adjacent buildings. This can be accomplished by using similar building forms, and materials.



This parking structure is masked with decorative plantings and trellises.

## 12.4.134 Alleys

New alleys may be constructed to provide vehicular and pedestrian access to rear yard garages, carriage homes and service areas.

- 1) Alley right-of-way shall be a minimum of 20 feet.
- 2) The alley must be entirely paved.

- 3) Street lights compatible with those required along streets shall be provided at a maximum spacing of 100 feet. Lighting fixtures may be freestanding if placed outside alley right-of-way, or may be attached to a garage or other structures.

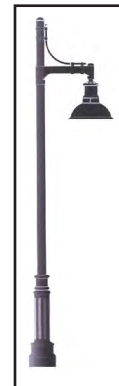


- 3) Lighting fixtures in parking areas shall be located to assure adequate light levels without displacing planned trees. Light fixture placement shall be shown on landscape plans.
- 4) Lighting fixtures shall align with approved fixtures by the City of Roswell. The approved pedestrian lighting fixtures are illustrated on the following page.
- 5) Lighting may be used to illuminate buildings, landscaped medians/ islands and grounds for safety purposes and to enhance appearance. The visual effects of such lighting shall be subtle.
- 6) Lighting attached to building exteriors or mounted on the ground to reflect upon building exteriors shall be consistent with the architectural style of the building.
- 7) Signs which employ blinking or moving lights or changing intensity of illumination are prohibited.
- 8) Security lighting shall be shielded and shall focus on the side or rear entry door.
- 9) Specialty lighting on outdoor patios, terraces, walkways, and trees may be used to encourage nighttime use by pedestrians.

## 12.4.140 Lighting, Signage and Public Art

### 12.4.141 Lighting

- 1) Street lights and pedestrian lights shall alternate along all sidewalks every thirty (30) feet.
- 2) All parking areas, walkways, vehicle entrances and service/loading areas shall provide area lighting sufficient to achieve a minimum of 2.4 foot candles of light as measured at grade or ground level.



Pedestrian lighting fixtures approved by the City of Roswell





## 12.4.142 Signage

All signs must comply with the sign ordinance of the City of Roswell with regard to sign size and placement. The following regulations impact sign types and materials.

### Permitted Sign Types

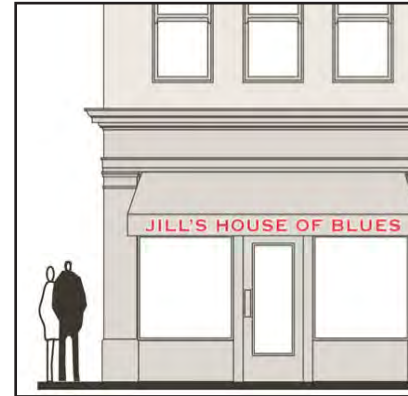
- 1) A-frame or sandwich board sign
- 2) Awning sign
- 3) Monument sign
- 4) Projecting sign
- 5) Wall sign
- 6) Window sign
- 7) Historic barber poles

### Prohibited Sign Types

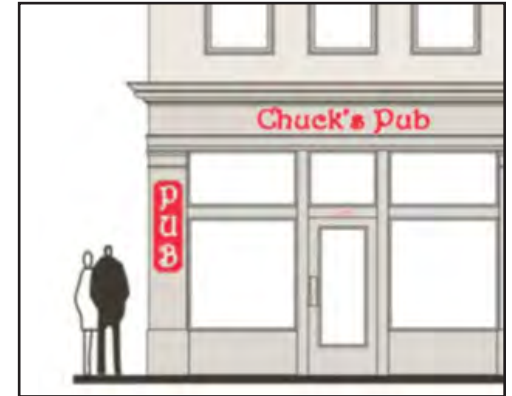
- 1) Animated, flashing or blinking sign
- 2) Changeable copy sign (electronic or otherwise)
- 3) Feather flag sign
- 4) Pole/pylon sign

### Permitted Sign Materials

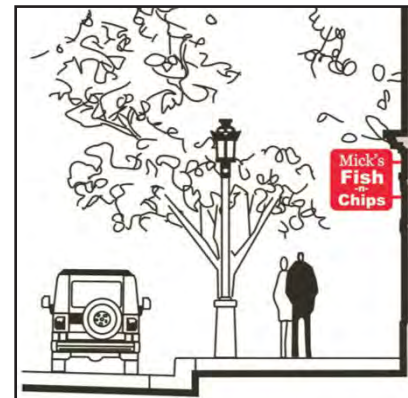
- 1) Brick, as foundation for monument sign
- 2) Canvas, for awning sign
- 3) Metal, powder coated or painted
- 4) Wood, stained, painted or natural



Awning sign



Wall sign



Projecting sign





### 12.4.143 Public Art

For the purposes of this section, “public art” shall mean the creation of an original work or service of an artist for a publicly accessible space which could be, but is not limited to, earthworks, mosaics, murals, and sculpture.

Each commercial, industrial, mixed-use project and parking structure over 25,000 square feet of gross floor area as well as structures located at High Visibility Street Corners shall incorporate in its design a public art component. For the purpose of this section, the gross floor area calculation shall include parking garages (including below grade and at or above grade garages). All City construction projects shall also incorporate in their design a public art component.

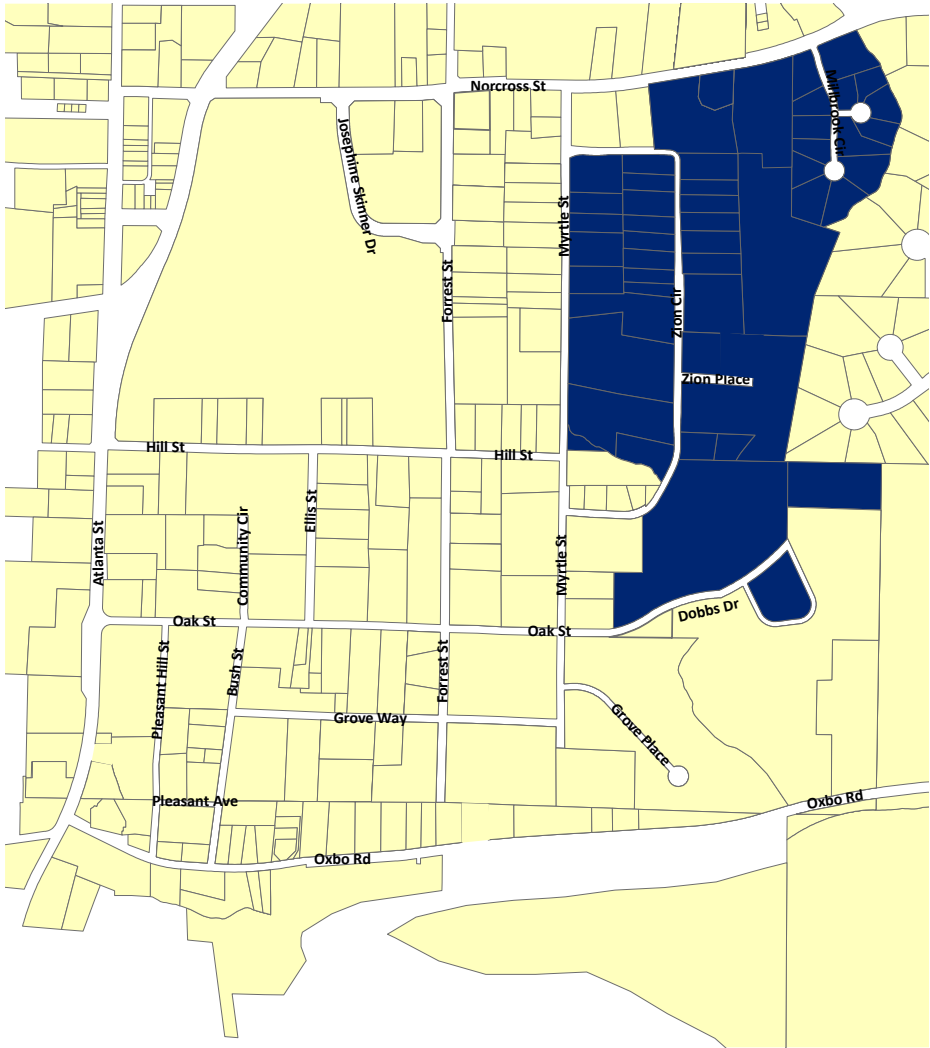
The minimum standard of performance used to measure compliance with this section shall be that the public art component shall have a value of not less than one percent of the Building Permit valuation.

This section shall not apply to a project:

- » Having a fully executed development agreement, approved before the effective date of the ordinance enacting this section;
- » For which a Building Permit was issued before the effective date of the ordinance enacting this section. A Building Permit for additions to the same project which is issued after the effective date of the ordinance enacting this section shall be subject to this section.



## 12.4.201 Neighborhood Residential District Requirements



12.4.210 Site Development Regulations	District Requirements
<b>Building Use</b>	
Commercial	not permitted
Office	not permitted
Residential/Institutional	see Section 12.4.010, Building Use
<b>12.4.211 Building Height</b>	
Minimum height	none
Maximum height	40 feet
<b>12.4.212 Maximum Building Length</b>	
Maximum	300 feet
<b>12.4.213 Building Orientation</b>	
Required or not required	required
<b>12.4.214 Frontage Types</b>	
Storefront	not permitted
Forecourt	not permitted
Stoop	not permitted
Terraced Yard	permitted
Common Yard	permitted
<b>12.4.214 Transparency/Fenestration (Transparency zone: 30" to 8' above grade)</b>	
Terraced Yard	10% single family; 15% multi-family
Common Yard	none required
<b>12.4.215 Front Yard Setback (from back of sidewalk)</b>	
Terraced Yard	
Single family uses	Min 6'; Max 12'
Multi-family uses	Min 6'; Max 12'
Common Yard	Min 6'; Max 12'
<b>12.4.215 Side Yard Setback</b>	
Minimum	7'
<b>12.4.215 Rear Yard Setback</b>	
Minimum	20'

## 12.4.201 Neighborhood Residential District Requirements

12.4.210 Site Development Regulations	District Requirements
<b>12.4.216.1 Building Articulation Features</b>	
Residential buildings	Every 30'
<b>12.4.216.2 Maximum Façade Width Checklist</b>	
Required or not required	required for facades wider than 100'
Large-scale Retail Use Standards	
Minimum	N/A
<b>12.4.216.3 Building Materials</b>	
Wood siding	permitted; above 2 ft above grade
Concrete siding	permitted; above 2 ft above grade
Stucco	permitted; above 2 ft above grade
Stone	permitted
Brick, precast concrete and timber frame	permitted
<b>12.4.216.4 Multi-family Building Details</b>	
Required or not required	required
<b>12.4.216.5 Blank Wall Treatment</b>	
Required or not required	required
<b>12.4.217 High Visibility Street Corner Standards</b>	
Required or not required	required for buildings at designated sites, see Community Map
<b>12.4.220 Landscape and Streetscape Regulations</b>	
District Requirements	
Open Space Requirement	
Minimum	N/A
<b>12.4.221 Landscaping Standards</b>	
Required or not required	required
<b>12.4.221 Parking Lot Landscape Standards</b>	
Required or not required	required

<b>12.4.222 Utilities Area Screening</b>	
Required or not required	required
<b>12.4.223 Sidewalk Standards</b>	
Minimum	Refer to Table 12.3.5 of the Roswell Zoning Ordinance
Outdoor dining	N/A
Curb cuts	Minimum distance between: 25'; no cuts within 100' of intersection
<b>12.4.230 Parking Regulations</b>	
District Requirements	
<b>12.4.231 Parking Standards</b>	
Residential, multi-family	Min 1 space/unit; Max 1.5 spaces/unit
Residential, single family	Min 1 space/unit; Max 3 spaces/unit
<b>12.4.232 Maximum Parking Lot Frontage</b>	
Maximum	50% of lot width
<b>12.4.233 Parking Structure Design Standards</b>	
Required or not required	required
<b>12.4.234 Alleys</b>	
Minimum width	20'
<b>12.4.240 Lighting and Signage Regulations</b>	
District Requirements	
<b>12.4.241 Lighting Standards</b>	
Required or not required	required
<b>12.4.242 Signage Standards</b>	
Required or not required	required



## 12.4.201

# Neighborhood Residential District Regulations

## 12.4.210 Site Development Regulations

### 12.4.211 Building Height and Density

Building height is defined as the vertical extent of a building. Height for buildings is regulated total feet permitted.

Buildings and structures in this district shall not exceed forty (40) feet.

Height shall be measured from finished grade along the base of the building to the top of cornice, parapet, or eave line of a peaked roof.

Habitable attics, inhabited spaces located above a roof's eave line, are only permitted for detached single-family homes.

Portions of a building that are not part of the primary building mass, such as entrance porticos, bays and stoops, are not required to meet minimum height requirements. Portions of the building that extend above the primary building mass, such as dormers, roof-top cupolas, elevator and mechanical equipment enclosures, roof deck trellises, gazebos, and other special features, shall not exceed the maximum height requirement by more than 10 feet.

Accessory buildings, including non-dwelling units such as freestanding garages for individual residential units, service structures and tool sheds, shall not exceed one and one-half stories or 14 feet.

### 12.4.212 Building Length and Separation

Maximum building length is three hundred (300) feet. Separation between multi-family residential buildings shall be no less than thirty (30) feet to provide access to the interior of the block, including any parking areas. Building separation area shall consist of a paved walkway through the depth of the parcel. This walkway shall coordinate with and connect to other walkways leading to the interior of the same block if parking is located there.

Buildings in excess of one hundred (100) feet in length shall conform to the regulations of the Maximum Façade Width Checklist, Section 12.4.216.2.

### 12.4.213 Building Orientation

All buildings in the community shall be located along and oriented toward new or existing street(s), excluding alleys and passages. A building is oriented towards a street if it has a building entrance that opens directly on to that street.

For lots along primary streets, designated as such in the GroveWay Community Map, Fig. 12.4.100, buildings must be oriented toward that primary street.

Parking structures, garages, carriage houses and accessory buildings are permitted and encouraged to be located along alleys in lieu of streets or public open spaces.

#### Corner Parcels

Buildings on corner parcels shall have an entrance(s) oriented toward either the street of highest classification or toward the intersection if it is designated a High Visibility Street Corner.



## 12.4.214 Frontage Types

Frontage includes portions of all primary building façades up to the top of the first or second floor, including building entrances, located along and oriented toward streets.

A property’s permitted Frontage Type shall be as specified within each District’s regulations charts. All permitted frontage types for a single District are allowed either alone or in combination with any other permitted frontage type within a single building as specified by the District Regulations.

Frontage requirements regulate a building’s primary entrance treatments, encroachments and property edges. Frontage regulations apply along the full length of the property frontage, even where there is no building façade.

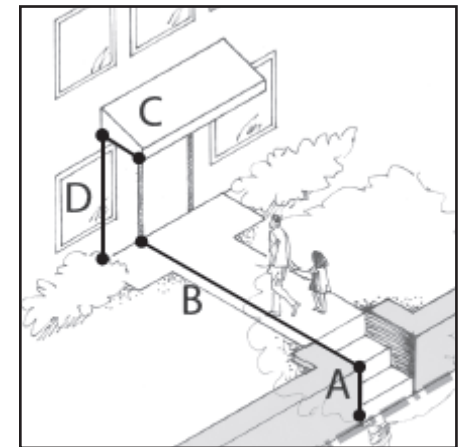
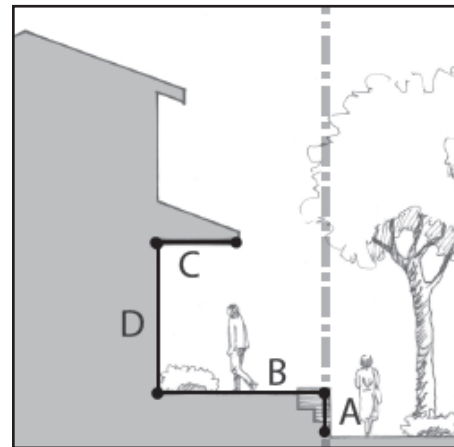


## Terraced Yard Standards

Terraced yards are raised lawns and/or gardens separated from the sidewalk by a retaining wall. The height difference provides enhanced privacy for residential uses.

Residential uses only: single family or multi-family. Building entries facing the street are required. For multi-family buildings, at least one building entry visible from the street is required. Transparency is required for at least 10% of the entire façade for single family uses; at least 15% of the façade for multi-family uses.

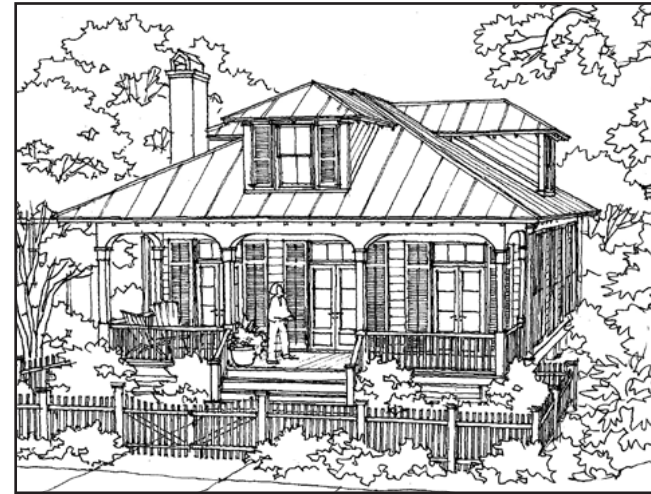
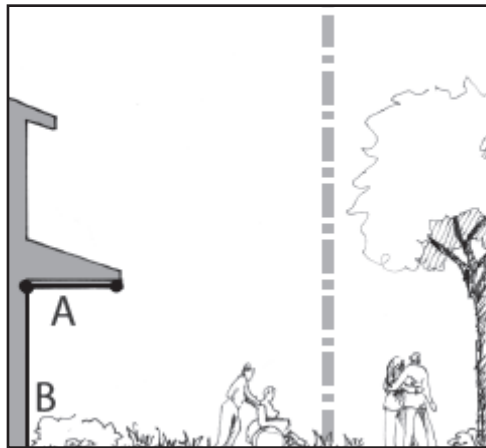
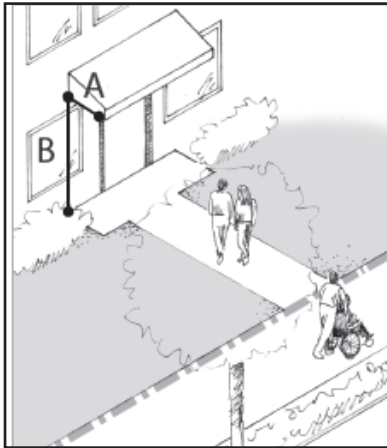
Terraced Yard Regulations	
A	Min 0'; Max 36"
B	Min 6' deep; multiple terraces may be used, provided each is separated by 2' planting bed
C	Min 3' deep over building entries
D	Min 8' above grade



## Common Yard Standards

Common yards refer to landscaped frontages along sidewalks. Only single family uses are allowed with this frontage type. Building entries facing the street are required.

Common Yard Regulations	
A	Min 3' deep
B	Min 8' above grade



## 12.4.215 Setbacks

### Front Yard Setback

Front yard setback is defined as the required distance from the property line to the face of the building.

#### Terraced Yard

Front yard setback is a minimum of 6' and a maximum of 12' for all uses.

#### Common Yard

Front yard setback is a minimum of 6' and a maximum of 12' for all uses.

### Side Yard Setback

Minimum side setback is seven (7) feet from the side property line.

### Rear Yard Setback

Minimum rear setback is twenty (20) feet from the rear property line.



## 12.4.216.1 Building Architecture and Materials

### Residential Buildings

Residential buildings shall include at least three of the following modulation and/or articulation features at intervals of no more than 30 feet along all façades facing a street, park, common open space, and common parking areas:

- 1) Repeating distinctive window patterns at intervals of 30 feet or less.
- 2) Vertical building modulation. Minimum depth and width of modulation is 18 inches and four feet, respectively, if tied to a change in color or building material and/or roofline modulation. Balconies may be used to meet the modulation if they are recessed or projected from the façade by at least 18 inches. Vertical building modulation is a stepping back or projecting forward vertical walls of a building face, within specified intervals of building width and depth, as a means of breaking up the apparent bulk of a structure's continuous exterior walls.
- 3) Change of roofline.
- 4) Horizontal modulation (upper level step-backs).
- 5) Articulation of the building's top, middle, and bottom. This typically includes a distinctive ground floor or lower floor design, consistent articulation of middle floors, and a distinctive roofline. The articulation interval does not apply to this option.
- 6) Building elements such as bay windows, porches, canopies, chimneys, or other repetitive feature that effectively articulates the façade.
- 7) Other methods that effectively reduce the perceived scale of the building and add visual interest.



These buildings use porches, varying rooflines and repeating window patterns.



## 12.4.216.2 Maximum Façade Width Checklist

For most buildings, small-scale façade articulation features are sufficient to contribute to the pedestrian-oriented environment add visual interest. Larger buildings need more substantial modulation features to break up the massing and add visual interest.

Façades wider than 100 feet shall include at least one of the following features to break up the massing of the building:

- 1) Provide vertical building modulation at least 20 feet deep and 30 feet wide. For two-story buildings with Storefront frontage, the modulation must extend through the upper floor of the building. For multi-story buildings with any frontage, the modulation must extend through more than one-half of the building floors.
- 2) Use of a contrasting vertical modulated design component featuring all of the following:
  - a. Component extends through all floors above the first floor fronting on the street. Upper floors that are stepped back more than 10 feet from the façade are exempt.
  - b. Utilizes a change in building materials that effectively contrasts from the rest of the façade.
  - c. Component is modulated vertically from the rest of the façade by an average of 6 inches.

- 3) Façade employs building walls with contrasting articulation that make it appear like two distinct buildings. To qualify for this option, these contrasting façades must employ all of the following:
  - a. Different building materials and/or configuration of building materials.
  - b. Contrasting window design (sizes or configurations).



Contrasting articulation makes this building look like three different buildings

## 12.4.216.3 Building Materials

The following standards exist to encourage high-quality development and the use of building materials that will be consistent with and add to the character of the area.

### Wood, brick and concrete siding standards

Masonry, concrete, brick or other durable material must be incorporated between wood or metal siding and the ground plane (at least 2 feet above grade). Brick may also be used as a primary façade material.



## Stucco standards

Proper trimming. Stucco and similar troweled finishes (excluding Exterior Insulation and Finish System or “EIFS”) must be sheltered from extreme weather and are limited to no more than 50 percent of façades containing a customer or resident entry.

Treatment near ground level. Stucco and similar surfaces should not extend below 2 feet above the ground plane. Concrete, masonry, or other durable material must be used below this line.

## Stone and timber standards

When used for the primary façade (containing the primary pedestrian entrance), buildings are encouraged to incorporate a combination of textures and/or colors. For example, stone, masonry, brick or timber applied as columns or piers combined with wood siding, concrete siding or stucco may be appropriate.

## Prohibited materials

The following materials are prohibited: mirrored glass, chain-link fencing, back-lit vinyl awnings.



## 12.4.216.4 Details for Multi-Family Buildings

All multi-family building façades containing the building or unit’s primary pedestrian entrance shall be enhanced with appropriate details.

Multifamily building façades must include four of the following features in the design:

- 1) Decorative porch or entries with distinct design and use of materials.
- 2) Decorative molding/ framing details around all ground floor windows and doors, bay windows, decorative glazing, or door designs, and/or unique window designs.
- 3) Landscaped trellises or other decorative element that incorporates landscaping near the building entry or entries.

- 4) Decorative light fixtures with a diffuse light source for each building entry.
- 5) Brick or stonework covering more than 10 percent of the façade.
- 6) Decorative building materials employing one of the following:
  - a. Decorative moldings, brackets, wave trim or lattice work.
  - b. Decorative brick or stonework.
  - c. Other materials with decorative or textural qualities as approved by the Planning Director.
- 7) Decorative roofline design, including multiple gables and/or dormers or other design that adds visual interest.
- 8) Decorative railings, grill work, or terraced landscape beds integrated along the façade of the building.



These townhomes use brick, decorative windows and a decorative entry design.

## 12.4.217 High Visibility Street Corner

### Street Corner Site Design Options

All development proposals located at designated High Visibility Street Corner sites (designated on the GroveWay Community Map, Fig. 12.4.100) shall include at least one of the design treatments described below. All buildings located on street corners must be oriented diagonally, facing the intersection.

- 1) Locate a building within 15 feet of the street corner, with building diagonally oriented toward intersection.
- 2) Install substantial landscaping adjacent to the street corner. The subject area must be four hundred (400) square feet of ground surface area with hardscape elements making up at most 25% of the space. Planted areas should contain a combination of trees, shrubs, perennials, and ground cover that provides four-season interest.

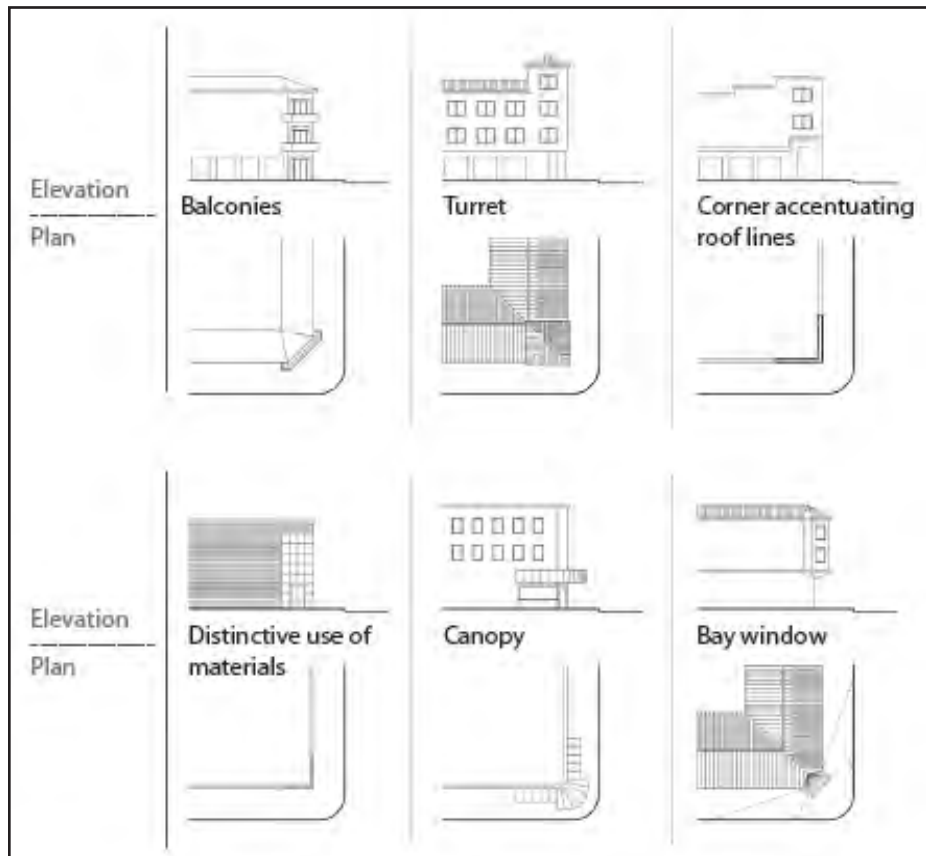
### Street Corner Building Design Standards

Buildings located at the street corner shall provide one or more of the elements listed below on the building corner:

- 1) A cropped or curved building corner with pedestrian entry.
- 2) A bay window or turret.
- 3) A clock or bell tower.
- 4) Balconies above the ground floor.
- 5) Sculpture or artwork element.



- 6) Distinctive use of façade materials.
- 7) Other special or unique corner building treatment, other than the use of fabric or vinyl awnings, for pedestrian weather protection at the corner of the building.



Acceptable corner treatments in both elevation and plan views.



## 12.4.218 Workforce Housing

One goal for the future development of the GroveWay Community is the inclusion of workforce housing units. Workforce housing is defined as for sale housing or rental housing units that do not exceed the maximum prices and/or maximum rents.

Maximum price means, in the case of low-income sales housing units, that the pro-forma sales price is equal to or less than one and one-half times median family income, and in the case of moderate-income housing units, that the pro-forma sales price is greater than one and one-half times median family income but does not exceed two and one-half times median family income.

Maximum rents means, in the case of low-income rental housing units, that the pro-forma rental rate is equal to or less than 60 percent times fair market rent, and in the case of moderate-income rental housing units, that the pro-forma rental rate is greater than 60 percent times fair market rent but does not exceed 80 percent times fair market rent.

Workforce housing may take the form of condominiums or apartments within a mixed use or residential building, townhomes alongside buildings with residential or non-residential uses, or single family detached homes within a residential area. Outside appearance and design features of workforce units should not differ substantially from those of units not designated as “workforce”.

Incentives for developers to include workforce units within developments shall be determined by the elected body and the Community Development Department of the City of Roswell. For housing units to be deemed “workforce”, the Community Development Department must certify them as such.



Workforce housing may take the form of single family detached or attached homes or units within mixed use or residential buildings.

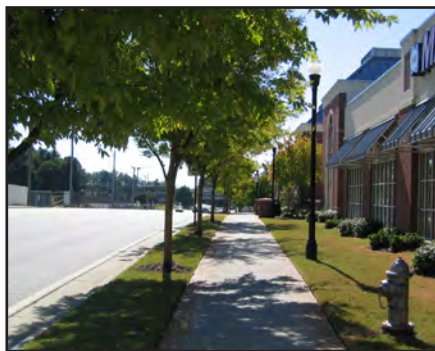
## 12.4.220 Landscape and Streetscape

### 12.4.221 Landscape Requirements

#### Along Streets

- 1) All streets shall be edged with a landscape strip of no less than six (6) feet in width. This area shall be planted with a row of street trees at least three and one-half (3.5) inches in caliper at thirty (30) foot intervals. Street tree installations shall be coordinated with all planned or potential streetscape improvements. Landscape strips shall also be planted with small shrubs, seasonal flowers, ground cover or turf grass. For additional standards, refer to section 16.5.2 of the City of Roswell Code of Ordinances.
- 2) Ground cover within the landscape strip shall consist of annual or perennial flowers, ornamental grasses or similar plantings, surrounded by mulch. Ground cover must be maintained at a height no greater than 36”.





Landscaping along streets and in parking lots helps break up spaces and provides shade and protection for pedestrians.

### Parking Lots

- 1) All parking lots shall be surrounded with a landscape strip of no less than six (6) feet in width. Street trees every thirty (30) linear feet and small shrubs and other small plantings shall be planted in these areas.
- 2) Parking lots shall include landscaped islands that account for no less than ten (10) percent of the total square footage of the lot. These islands shall also be planted with shade trees (at a rate of one tree per twelve parking spaces) and small shrubs. Porous pavers or materials should be used whenever possible.
- 3) Shade trees shall be planted at a minimum of three (3) feet from any curb, so as to prevent injury to trees by vehicle bumpers.
- 4) There shall be a minimum curb radius of three (3) feet required on all the corners of all landscape islands and medians to allow for free movement of motor vehicles around plant materials.

## 12.4.222 Utilities, Mechanical Units Service Areas and Fences

- 1) All service areas (loading docks, dumpsters, delivery areas, waste oil containers, mechanical units, utilities) shall be screened from view from the public right of way with buildings, landscaping, or decorative fencing.
- 2) Decorative fencing in front or side yards shall only be made of brick, stone, wrought iron, composite materials or wood. Fences shall be a maximum height of four (4) feet in the front yard and shall be set back at least two (2) feet from the back of the sidewalk.
- 3) No barbed wire, razor wire, chain-link fence or similar elements shall be visible from any public plaza, ground level or sidewalk level outdoor dining area or public right-of-way.
- 4) Gates and security arms shall be prohibited from crossing any public street or sidewalk.



Landscaping or high-quality materials should be used to screen utilities and mechanical equipment.

### 12.4.223 Sidewalk Requirements

- 1) Public sidewalks shall be constructed along both sides of all streets.
- 2) Sidewalks shall be located between the building or private yard and the landscape strip adjacent to the street. Sidewalks shall conform to Table 12.3.5 of the Roswell Zoning Ordinance.
- 3) There shall be a minimum distance of twenty-five (25) feet between curb cuts. Curb cuts shall not be permitted within one hundred (100) feet of the intersection of any two (2) public streets and shall not be more than twenty-four (24) feet wide.

### 12.4.230 Parking Standards

### 12.4.231 Parking Calculations

On-street parking spaces directly fronting the applicable use shall count in the calculations for off-street parking requirements.

Innovative, sustainable amenities including, but not limited to electric power connections, Smart Car parking spaces, carpool, and bicycle parking shall count in the calculations for parking requirements.

Shared parking between and among buildings is encouraged.

Use	Parking Minimum	Parking Maximum
Residential, multi-family	1 space/ dwelling unit	1.5 spaces/dwelling unit
Residential, single family	1 space/dwelling unit	3 spaces/dwelling unit

### 12.4.232 Surface Parking Lot Standards

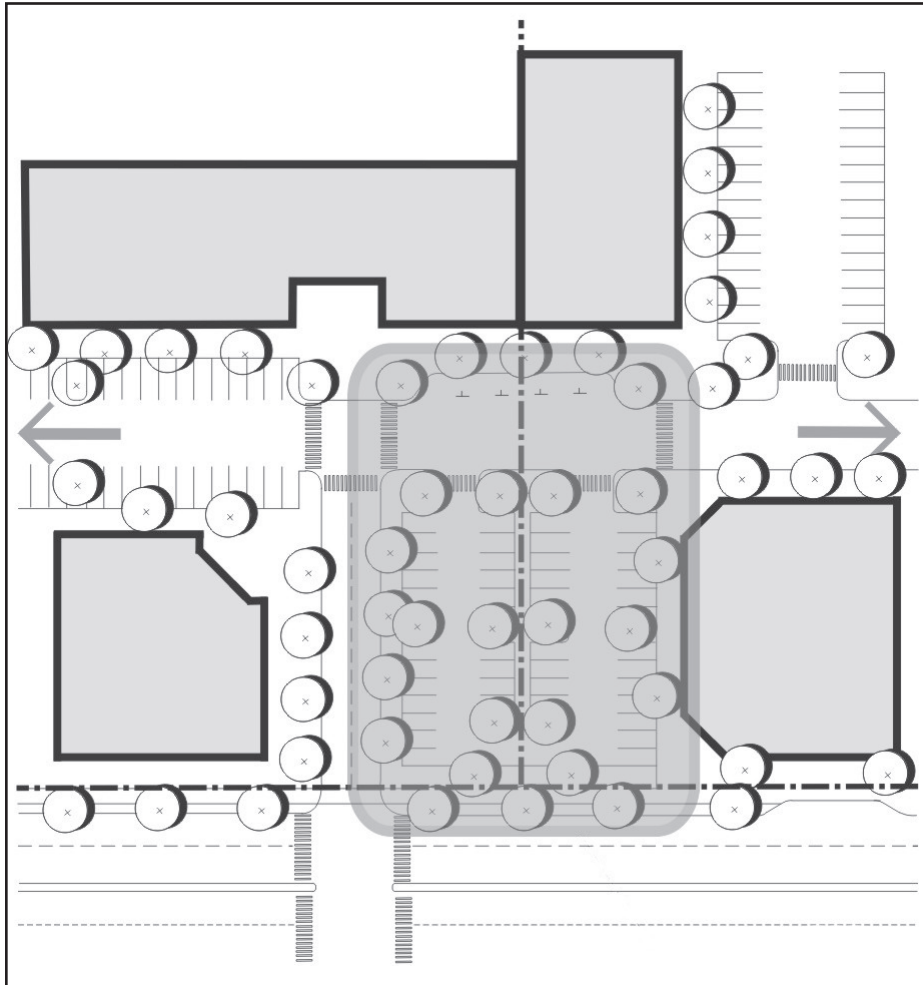
Parking lots in this district shall not be located between the building and the street. Lots shall be located either to the side or the rear of the building.

The maximum frontage for a parking lot along the street is fifty (50) percent of the width of the lot. Maximum frontage refers to the maximum percentage of the total site frontage that parking and vehicular access areas may occupy. Areas that qualify as parking and vehicular access areas include any paved areas between the street and a building that accommodate vehicular access (including drive-through lanes) or storage of vehicles.

Parking lots with more than 50 feet of frontage on a street shall include an architectural feature (in addition to the required landscaping). Examples could include a landscaped trellis, decorative low wall (perhaps doubling as a sitting ledge), weather protection element, or architectural columns.



A decorative low wall and landscaping conceal parking from the street.



Shared parking among uses (shown here in the interior of a block) still provides quick access to businesses, but hides parking.

## 12.4.233 Parking Structure Design Standards

Parking structures, if located along the street, shall provide space (at least 18 feet in width) for ground floor institutional uses for a minimum of 75 percent of the parking structure frontage width.

Parking structures shall be set back at least 10 feet from the sidewalk and feature landscaping between the sidewalk and the structure.

Parking garages visible from a street shall be designed to be complementary with adjacent buildings. This can be accomplished by using similar building forms, and materials.



This parking structure is masked with decorative plantings and trellises.



## 12.4.234 Alleys

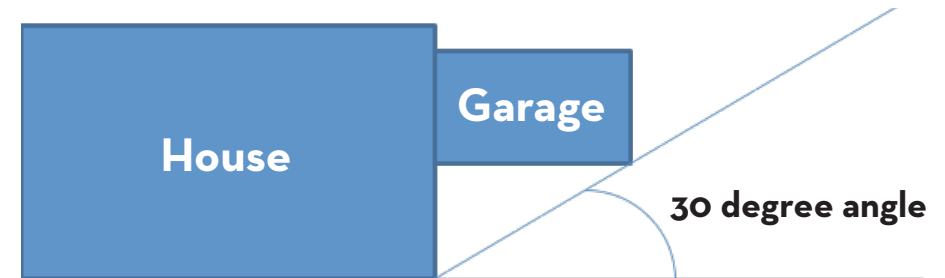
New alleys may be constructed to provide vehicular and pedestrian access to rear yard garages, carriage homes and service areas.

- 1) Alley right-of-way shall be a minimum of 20 feet.
- 2) The alley must be entirely paved.
- 3) Street lights compatible with those required along streets shall be provided at a maximum spacing of 100 feet. Lighting fixtures may be freestanding if placed outside alley right-of-way, or may be attached to a garage or other structures.



## 12.4.235 Single Family Residential Parking

Parking for single family residential uses may be accommodated within individual or shared driveways between the street and the house, on-street parking where allowed, or by rear-loaded alleys. Garages, if attached to the primary dwelling structure, must not feature a door or doors that face the street. Garages shall be set back from the primary dwelling structure at a thirty (30) degree angle so as not to sit flush with the front of the primary structure.



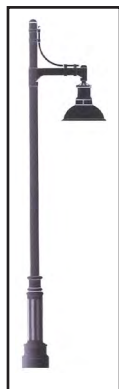
## 12.4.240 Lighting, Signage and Public Art

### 12.4.241 Lighting

- 1) Street lights and pedestrian lights shall alternate along all sidewalks every thirty (30) feet.
- 2) All parking areas, walkways, vehicle entrances and service/loading areas shall provide area lighting sufficient to achieve a minimum of 2.4 foot candles of light as measured at grade or ground level.
- 3) Lighting fixtures in parking areas shall be located to assure adequate light levels without displacing planned trees. Light fixture placement shall be shown on landscape plans.



- 4) Lighting fixture height, style, design and illumination levels shall be compatible with the building design and height and shall consider safety, function and aesthetics. Lighting fixtures installed along sidewalks shall be of pedestrian scale and shall not exceed fourteen (14) feet in height.
- 5) Lighting may be used to illuminate buildings, landscaped medians/ islands and grounds for safety purposes and to enhance appearance. The visual effects of such lighting shall be subtle.
- 6) Lighting attached to building exteriors or mounted on the ground to reflect upon building exteriors shall be consistent with the architectural style of the building.
- 7) Signs which employ blinking or moving lights or changing intensity of illumination are prohibited.
- 8) Security lighting shall be shielded and shall focus on the side or rear entry door.
- 9) Specialty lighting on outdoor patios, terraces, walkways, and trees may be used to encourage nighttime use by pedestrians.



Pedestrian lighting fixtures approved by the City of Roswell



## 12.4.242 Signage

All signs must comply with the sign ordinance of the City of Roswell with regard to sign size and placement. The following regulations impact sign types and materials only.

### Permitted Sign Type

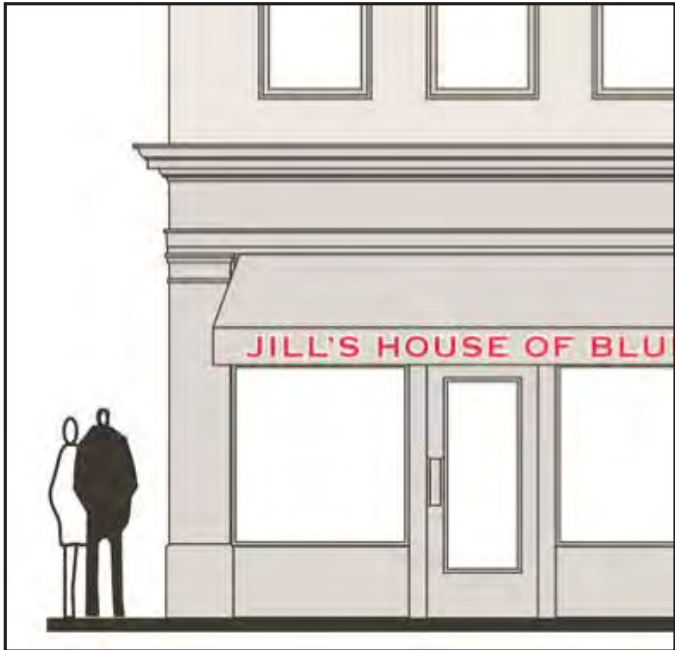
- 1) Projecting sign
- 2) Monument sign

### Prohibited Sign Types

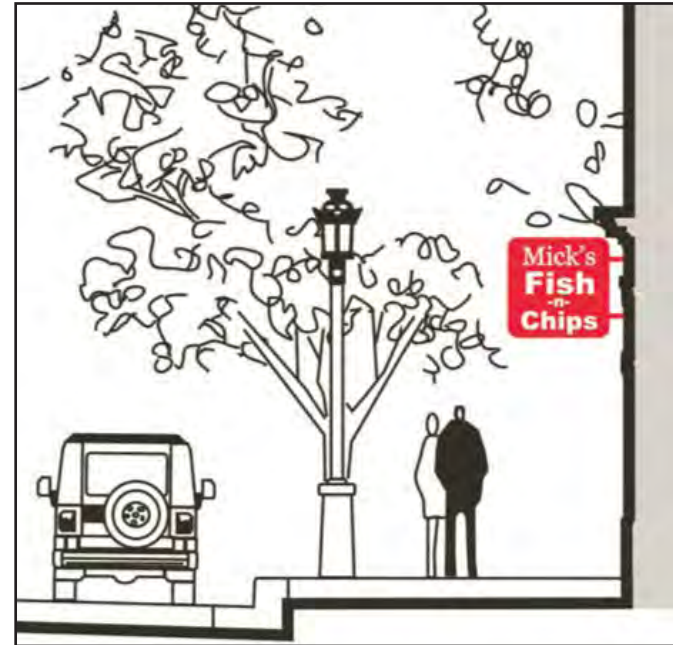
- 1) A-frame or sandwich board sign
- 2) Animated, flashing, rotating or blinking sign
- 3) Awning sign
- 4) Changeable copy sign (electronic or otherwise)
- 5) Feather flag sign
- 6) Pole/pylon sign
- 7) Wall sign
- 8) Window sign

### Permitted Sign Materials

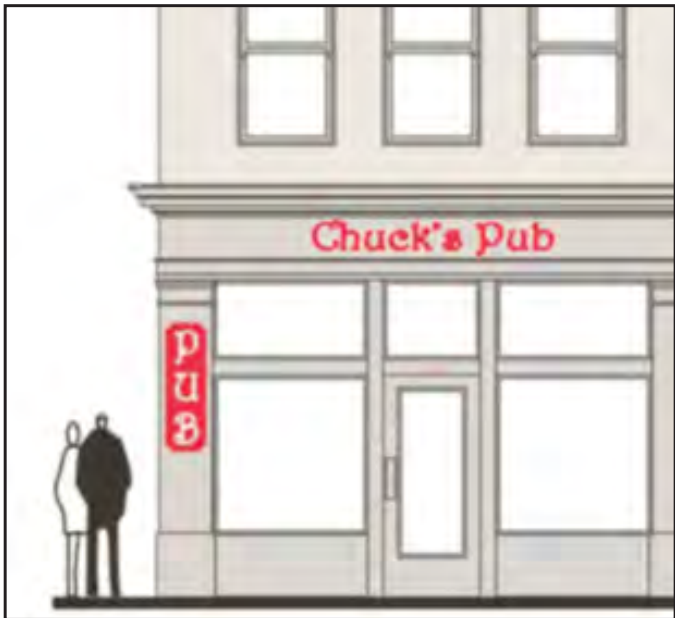
- 1) Canvas, for awning sign
- 2) Metal, powder coated or painted
- 3) Wood, stained, painted or natural



Awning sign



Projecting sign



Wall sign



### 12.4.143 Public Art

For the purposes of this section, “public art” shall mean the creation of an original work or service of an artist for a publicly accessible space which could be, but is not limited to, earthworks, mosaics, murals, and sculpture.

Each commercial, industrial, mixed-use project and parking structure over 25,000 square feet of gross floor area shall incorporate in its design a public art component. For the purpose of this section, the gross floor area calculation shall include parking garages (including below grade and at or above grade garages). All City construction projects shall also incorporate in their design a public art component.

The minimum standard of performance used to measure compliance with this section shall be that the public art component shall have a value of not less than one percent of the Building Permit valuation.

This section shall not apply to a project:

- » Having a fully executed development agreement, approved before the effective date of the ordinance enacting this section;
- » For which a Building Permit was issued before the effective date of the ordinance enacting this section. A Building Permit for additions to the same project which is issued after the effective date of the ordinance enacting this section shall be subject to this section.









